

# FOUNDERS HALL/MEDIA CENTER ROOF RESTORATION

For

## FRANCIS MARION UNIVERSITY Florence, South Carolina

### SC PROJECT: H18-N072-PD

**ARCHITECTURAL**

LARRY WILUND, ARCHITECT

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141 DOGWOOD PLACE COURT  
LEXINGTON, SC  
(803) 422-2905

- CO - COVER SHEET AND SITE PLAN
- A100 - OVERALL ROOF PLAN
- A101 - FOUNDERS HALL ROOF PLAN
- A102 - MEDIA CENTER ROOF PLAN
- A103 - SECTIONS AND DETAILS

LARRY WILUND

ARCHITECT

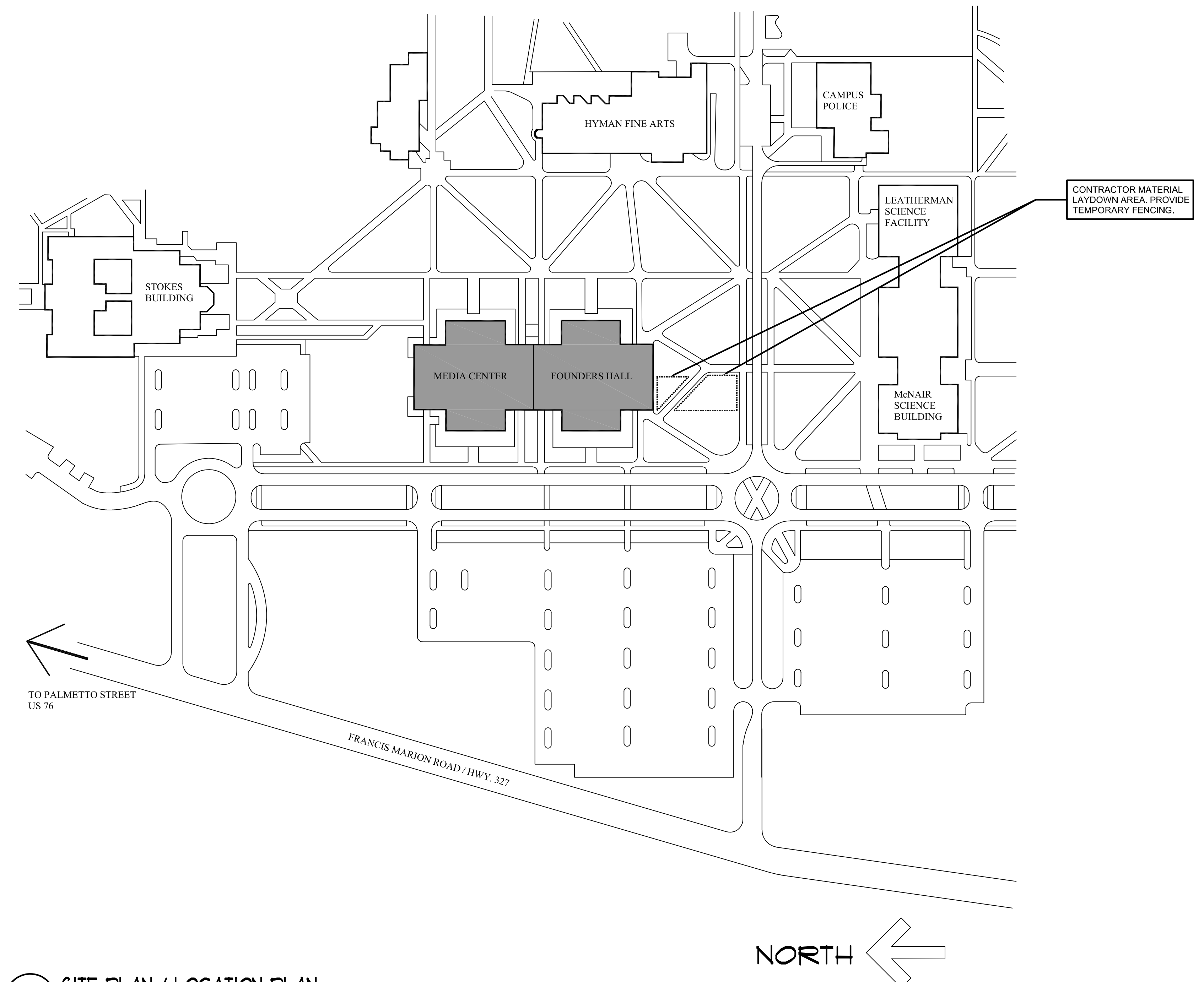
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Lexington, SC 29072  
(803)422-2905  
larrywilund@icloud.com

BID SET  
DOCUMENTS



REVISIONS

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1 SITE PLAN / LOCATION PLAN  
CO NOT TO SCALE

FOUNDERS HALL/MEDIA CENTER  
ROOF RESTORATION  
For  
FRANCIS MARION UNIVERSITY  
Florence, South Carolina  
SC PROJECT: H18-N072-PD

|                    |
|--------------------|
| COVER SHEET        |
| SITE PLAN          |
| SHEET              |
| <b>CO</b>          |
| DATE 6/18/2018     |
| COMMISSION C117-18 |
| DRAWN BY AJ        |

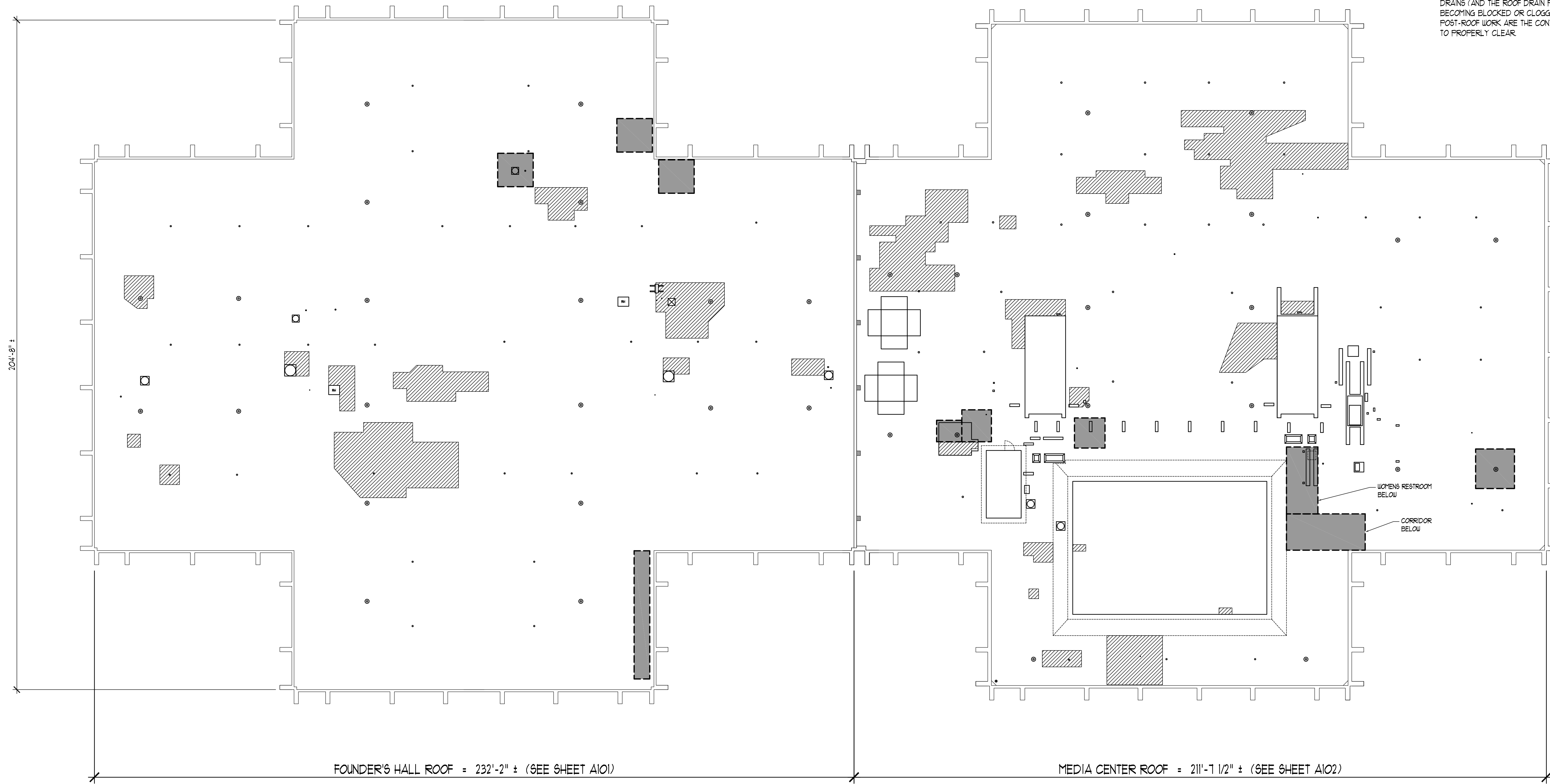
**LEGEND**

 AREAS OF WET INSULATION TO BE CUT OUT AND REPLACED - SEE "INFRARED THERMOGRAPHY SURVEY" REPORT DATED APRIL 30, 2018 BY EPMC IN THE PROJECT MANUAL FOR MORE DETAILED INFORMATION ON THE WET INSULATION AREAS. SEE DETAIL 4/A103 FOR WET INSULATION REPLACEMENT DETAIL. THE OUTLINE OF THE WET INSULATION AREAS INDICATED ON THIS SHEET ARE ALSO MARKED ON THE GRAVEL OF THIS ROOF.

 AREAS IDENTIFIED AS HAVING LEAKS BELOW. CONTRACTOR TO DETERMINE THE SOURCE OF THE LEAKS IN AREAS IDENTIFIED AND REPAIR ALL LEAKS.

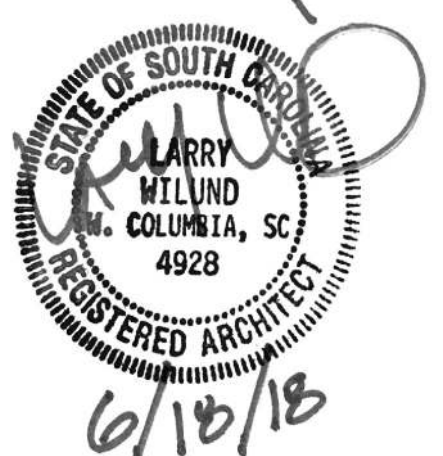
GENERAL NOTE #1: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UNFORSEEN AREAS OF WET INSULATION. WHERE THE DAMAGE IS SERIOUS AND EXTENSIVE, IT WILL BE THE OWNER'S PEROGATIVE TO AUTHORIZE REMOVAL AND REPLACEMENT OF DETEIORATED ROOFING, INSULATION AND REPAIR OF THE VAPOR BARRIER (IF PRESENT). WHERE DAMAGE TO THE ROOF DECK IS FOUND, THE CONTRACTOR SHALL REMOVE AND REPLACE THE DAMAGED DECK AS PER THE UNIT PRICE SUBMITTED IN THE BID.

GENERAL NOTE #2: THE CONTRACTOR IS TO PROVIDE PROTECTION AT THE ROOF DRAIN OPENINGS DURING THE ENTIRE COURSE OF CONSTRUCTION TO PREVENT THE ROOF DRAINS (AND THE ROOF DRAIN PIPING BELOW) FROM BECOMING BLOCKED OR CLOGGED. ALL BLOCKAGES POST-ROOF WORK ARE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY CLEAR.



**1** OVERALL ROOF PLAN WITH WET INSULATION AREAS AND LEAK AREAS IDENTIFIED  
 A100 SCALE: 1/16" = 1'-0"

BID SET  
 DOCUMENTS



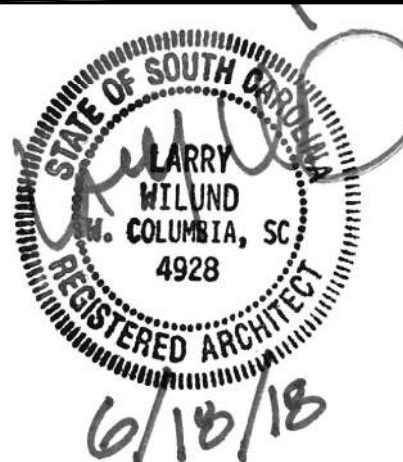
FOUNDERS HALL/MEDIA CENTER  
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OVERALL ROOF PLAN

SHEET

**A100**

DATE: 6/18/2018  
 COMMISSION: C117-18  
 DRAWN BY: AJ



REVISIONS

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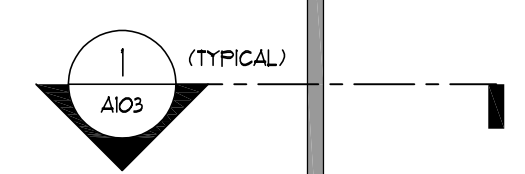
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 ROOF RESTORATION  
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**ROOF RESTORATION - SCOPE OF WORK NOTES FOR MEDIA CENTER AND FOUNDERS HALL ROOFS**

1. REMOVE AND REPLACE ALL METAL PARAPET CAPS, FLASHINGS AND CANT STRIPS ALONG THE PERIMETER OF THE ROOFS. SEE DETAIL 1/A103.
2. REMOVE ALL LOOSE GRAVEL.
3. CUT OUT AND REPLACE ALL AREAS WHERE UET INSULATION HAS BEEN IDENTIFIED. CUT OUT AND REPLACE THE ROOFING AND INSULATION DOWN TO THE EXISTING LIGHTWEIGHT CONCRETE DECK. SEE THE BYC MOISTURE SURVEY REPORT IN THE PROJECT MANUAL FOR THE LOCATION OF ALL UET INSULATION AND FOR THE COMPOSITION OF EACH OF THE ROOFS. SHEET A100 ALSO INDICATES THE LOCATIONS OF THE UET AREAS TO BE REPLACED. SEE DETAIL 4/A103 FOR DETAILED REPLACEMENT OF THESE UET AREAS. THE PERIMETER OF THESE 'UET AREAS' HAVE BEEN MARKED ON THE ACTUAL ROOF.
4. REMOVE THE EXISTING BLACK BELLOUS ROOF EXPANSION JOINT AND REPLACE WITH A METAL EXPANSION JOINT. RAISE THE PROFILE OF THE EXPANSION JOINT TO BE AT LEAST 8" ABOVE THE ROOF SURFACE. SEE DETAIL 2/A103.
5. INSTALL NEW ROOF DRAIN INSERTS AND REWORK DRAINS AS REQUIRED FOR WATERTIGHT FITTING. FLOOD TEST THE DRAINS TO INSURE NO LEAKS. SEE DETAIL 3/A103.
6. AFTER REMOVAL OF THE LOOSE GRAVEL, PRIME THE ENTIRE ROOF IN PREPARATION FOR THE NEW COLD PROCESS RESTORATION COATING TO BE APPLIED.
7. INSTALL THE NEW COLD PROCESS RESTORATION COATING OVER THE ENTIRE ROOF AREA.
8. BED NEW GRAVEL SURFACING IN THE NEW RESTORATION COATING.
9. ADD LIQUID FLASHING AROUND THE BASE OF ALL VENT PIPE PENETRATIONS. 30 DAYS AFTER LIQUID FLASHING APPLICATION, ADD AN ALUMINIZED ROOF PAINT OVER THE LIQUID FLASHING.
10. ADD A NEW MINERAL WOOL PITCH FLASHING FLY (WITH TERMINATION BARS) AT ALL EXISTING BASE FLASHINGS. THIS INCLUDES ALL THE BASES AROUND ROOF HATCHES, EXHAUST FANS, MECHANICAL UNIT BASES, VERTICAL DUCT PENETRATIONS AND THE BRICK STAIRWELL WALLS. SEE DETAIL 5/A103 FOR ADDITIONAL NOTES.
11. SEE DRAWINGS FOR OTHER SPECIFIC ROOF RESTORATION WORK.
12. SEE THE ASBESTOS REPORT IN THE PROJECT MANUAL FOR AREAS WITH ASBESTOS THAT WILL BE EFFECTED BY THIS WORK. THE CONTRACTORS MUST MEET ALL SC 4 SCHEC REQUIREMENTS INCLUDING ABATEMENT.
13. THE CONTRACTOR IS RESPONSIBLE FOR SUBCONTRACTING THE INSTALLATION OF NEW CHARCOAL AIR FILTERS IN THE MECHANICAL UNITS FOR THE PURPOSE OF PREVENTING CONSTRUCTION ODOR INTO THE BUILDING DURING THE DURATION OF THE RESTORATION PROJECT. CONTRACTOR MUST CONTACT AND USE JEFF PETER AT TRANE CORPORATION FOR THIS WORK. CONTACT JEFF PETER AT (843) 250-0543 AND JPETER@TRANE.COM.
14. REBUILD THE EXISTING PITCH PANS FOR A WATERTIGHT CONDITION. SEE DETAIL 6/A103.

**GENERAL NOTE #1:** THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UNFORSEEN AREAS OF UET INSULATION. WHERE THE DAMAGE IS SERIOUS AND EXTENSIVE, IT WILL BE THE OWNER'S FERRIGATIVE TO AUTHORIZE REMOVAL AND REPLACEMENT OF DETERIORATED ROOFING, INSULATION AND REPAIR OF THE VAPOR BARRIER (IF PRESENT), WHERE DAMAGE TO THE ROOF DECK IS FOUND, THE CONTRACTOR SHALL REMOVE AND REPLACE THE DAMAGED DECK AS PER THE UNIT PRICE SUBMITTED IN THE BID.

**GENERAL NOTE #2:** THE CONTRACTOR IS TO PROVIDE PROTECTION AT THE ROOF DRAIN OPENINGS DURING THE ENTIRE COURSE OF CONSTRUCTION TO PREVENT THE ROOF DRAINS (AND THE ROOF DRAIN PIPING BELOW) FROM BECOMING BLOCKED OR CLOGGED. ALL BLOCKAGES POST-ROOF WORK ARE THE CONTRACTORS RESPONSIBILITY TO PROPERLY CLEAR.



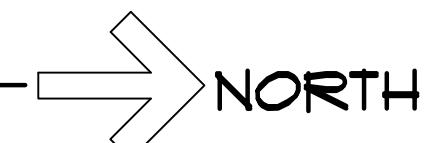
EXISTING MECH UNIT ON TREATED WOOD BASE

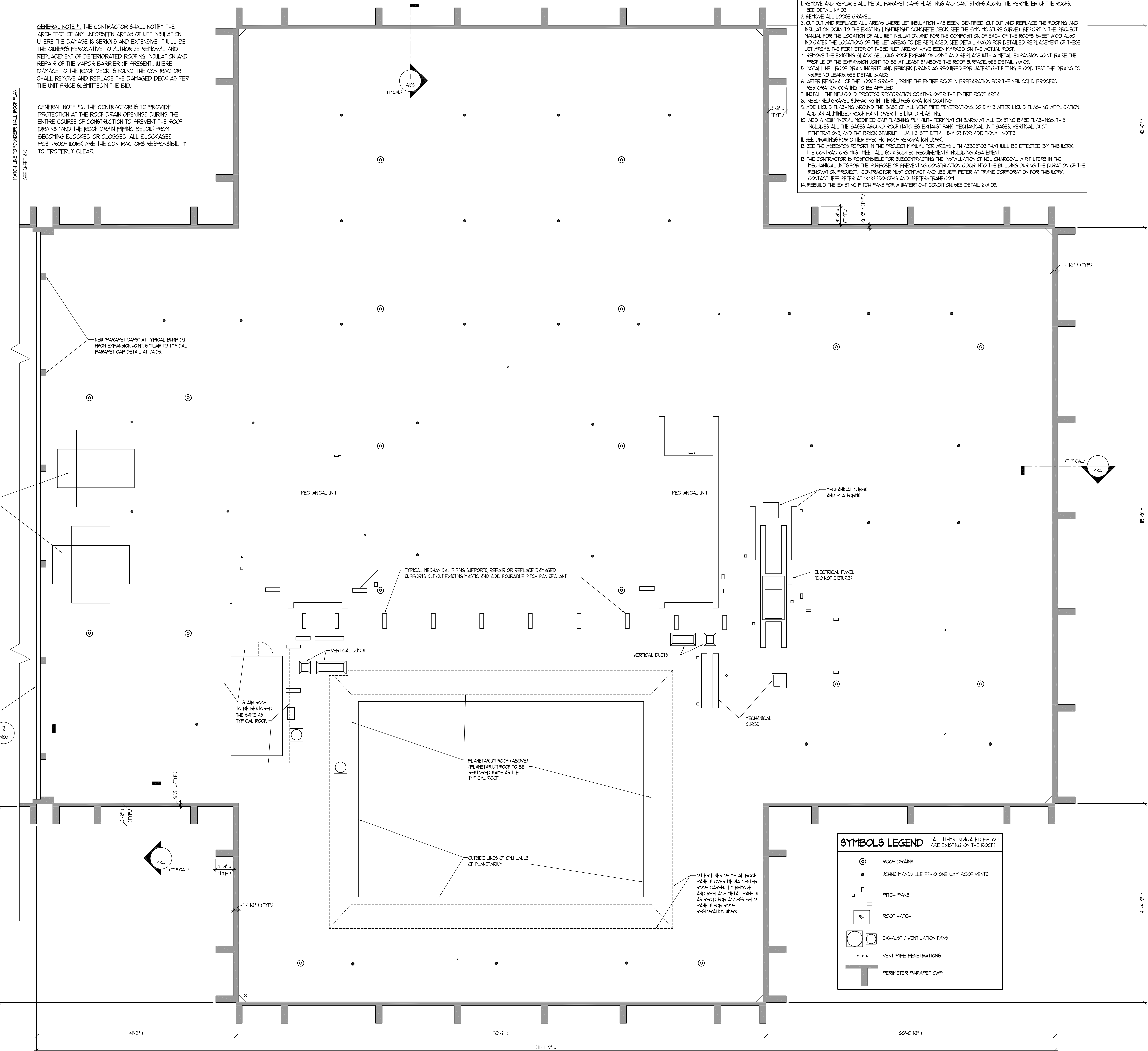
REMOVE AND REPLACE ROOF EXPANSION JOINT. RAISE EXPANSION JOINT TO 8" MINIMUM HT. SEE DETAIL 2/A103

**SYMBOLS LEGEND** (ALL ITEMS INDICATED BELOW ARE EXISTING ON THE ROOF)

|     |   |
|-----|---|
| ⊙   | ROOF DRAINS                               |
| •   | JOHN'S MANSVILLE PP-10 ONE WAY ROOF VENTS |
| □   | PITCH PANS                                |
| ⊠   | ROOF HATCH                                |
| ⊞   | EXHAUST / VENTILATION FANS                |
| ••• | VENT PIPE PENETRATIONS                    |
| —   | PERIMETER PARAPET CAP                     |

**1**  
**A101**  
 FOUNDERS HALL - ROOF PLAN  
 SCALE: 1/8"=1'-0"





**ROOF RESTORATION - SCOPE OF WORK NOTES FOR MEDIA CENTER AND FOUNDERS HALL ROOFS**

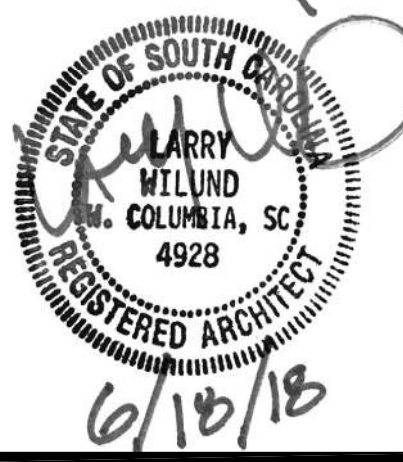
1. REMOVE AND REPLACE ALL METAL PARAPET CAPS, FLASHINGS AND GUT STRIPS ALONG THE PERIMETER OF THE ROOFS. SEE DETAIL 1/A103.
2. REMOVE ALL LOOSE GRAVEL.
3. CUT OUT AND REPLACE ALL AREAS WHERE LIET INSULATION HAS BEEN IDENTIFIED. CUT OUT AND REPLACE THE ROOFING AND INSULATION DOWN TO THE EXISTING LIGHTWEIGHT CONCRETE DECK. SEE THE BMC MOISTURE SURVEY REPORT IN THE PROJECT MANUAL FOR THE LOCATION OF ALL LIET INSULATION AND FOR THE COMPOSITION OF EACH OF THE ROOFS. SHEET A100 ALSO INDICATES THE LOCATIONS OF THE LIET AREAS TO BE REPLACED. SEE DETAIL 4/A103 FOR DETAILED REPLACEMENT OF THESE LIET AREAS. THE PERIMETER OF THESE "LIET AREAS" HAVE BEEN MARKED ON THE ACTUAL ROOF.
4. REMOVE THE EXISTING BLACK BELLOUS ROOF EXPANSION JOINT AND REPLACE WITH A METAL EXPANSION JOINT. RAISE THE PROFILE OF THE EXPANSION JOINT TO BE AT LEAST 8" ABOVE THE ROOF SURFACE. SEE DETAIL 3/A103.
5. INSTALL NEW ROOF DRAIN INSERTS AND REWORK DRAINS AS REQUIRED FOR WATERTIGHT FITTING. FLOOD TEST THE DRAINS TO INSURE NO LEAKS. SEE DETAIL 3/A103.
6. AFTER REMOVAL OF THE LOOSE GRAVEL, PRIME THE ENTIRE ROOF IN PREPARATION FOR THE NEW COLD PROCESS RESTORATION COATING TO BE APPLIED.
7. INSTALL THE NEW COLD PROCESS RESTORATION COATING OVER THE ENTIRE ROOF AREA.
8. INBED NEW GRAVEL SURFACING IN THE NEW RESTORATION COATING.
9. ADD LIQUID FLASHING AROUND THE BASE OF ALL VENT PIPE PENETRATIONS. 30 DAYS AFTER LIQUID FLASHING APPLICATION, ADD AN ALUMINUM ROOF FLANT OVER THE LIQUID FLASHING.
10. ADD A NEW MINERAL MODIFIED CAP FLASHING FLY (WITH TERMINATION BARS) AT ALL EXISTING BASE FLASHINGS. THIS INCLUDES ALL THE BASES AROUND ROOF HATCHES, EXHAUST FANS, MECHANICAL UNIT BASES, VERTICAL DUCT PENETRATIONS, AND THE BRICK STAIRWELL WALLS. SEE DETAIL 5/A103 FOR ADDITIONAL NOTES.
11. SEE DRAWINGS FOR OTHER SPECIFIC ROOF RENOVATION WORK.
12. SEE THE ASBESTOS REPORT IN THE PROJECT MANUAL FOR AREAS WITH ASBESTOS THAT WILL BE EFFECTED BY THIS WORK. THE CONTRACTORS MUST MEET ALL SC 4 SCDHQEC REQUIREMENTS INCLUDING ABATEMENT.
13. THE CONTRACTOR IS RESPONSIBLE FOR SUBCONTRACTING THE INSTALLATION OF NEW CHARCOAL AIR FILTERS IN THE MECHANICAL UNITS FOR THE PURPOSE OF PREVENTING CONSTRUCTION DUST INTO THE BUILDING DURING THE DURATION OF THE RENOVATION PROJECT. CONTRACTOR MUST CONTACT AND USE JEFF PETER AT TRANE CORPORATION FOR THIS WORK. CONTACT JEFF PETER AT (843) 250-0543 AND JPETER@TRANE.COM.
14. REBUILD THE EXISTING PITCH PANS FOR A WATERTIGHT CONDITION. SEE DETAIL 6/A103.

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**LARRY WILUND**  
**ARCHITECT**  
 141 Dogwood Place Court  
 Lexington, SC 29072  
 (803)422-2905  
 larrywilund@icloud.com

**BID SET DOCUMENTS**



REVISIONS

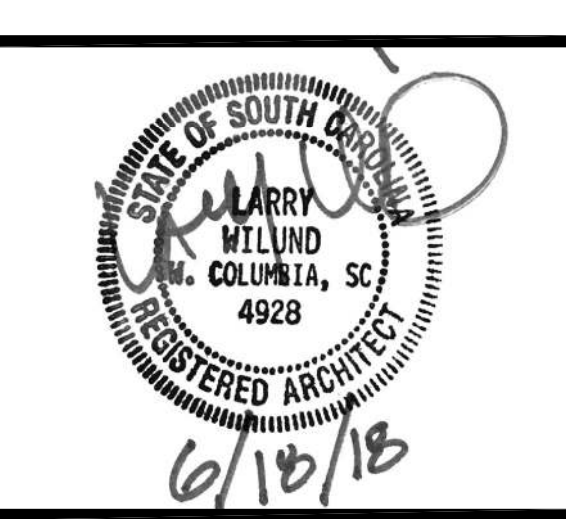
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**FOUNDERS HALL/MEDIA CENTER  
 ROOF RESTORATION**  
 For  
**FRANCIS MARION UNIVERSITY**  
 Florence, South Carolina  
 SC PROJECT: H18-N072-PD

**MEDIA CENTER  
 ROOF PLAN**

SHEET  
**A102**

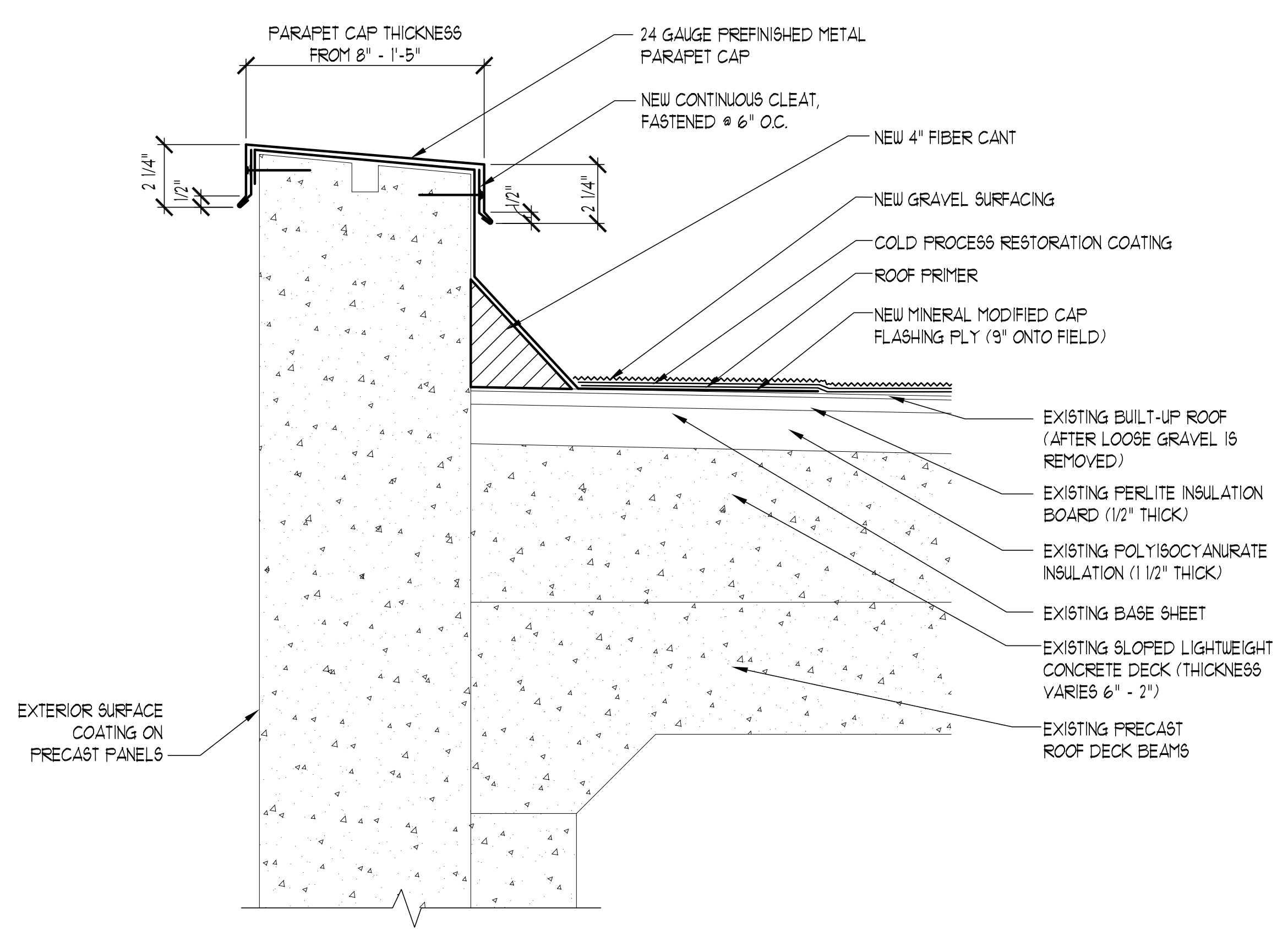
DATE: 6/18/2018  
 COMMISSION: C117-18  
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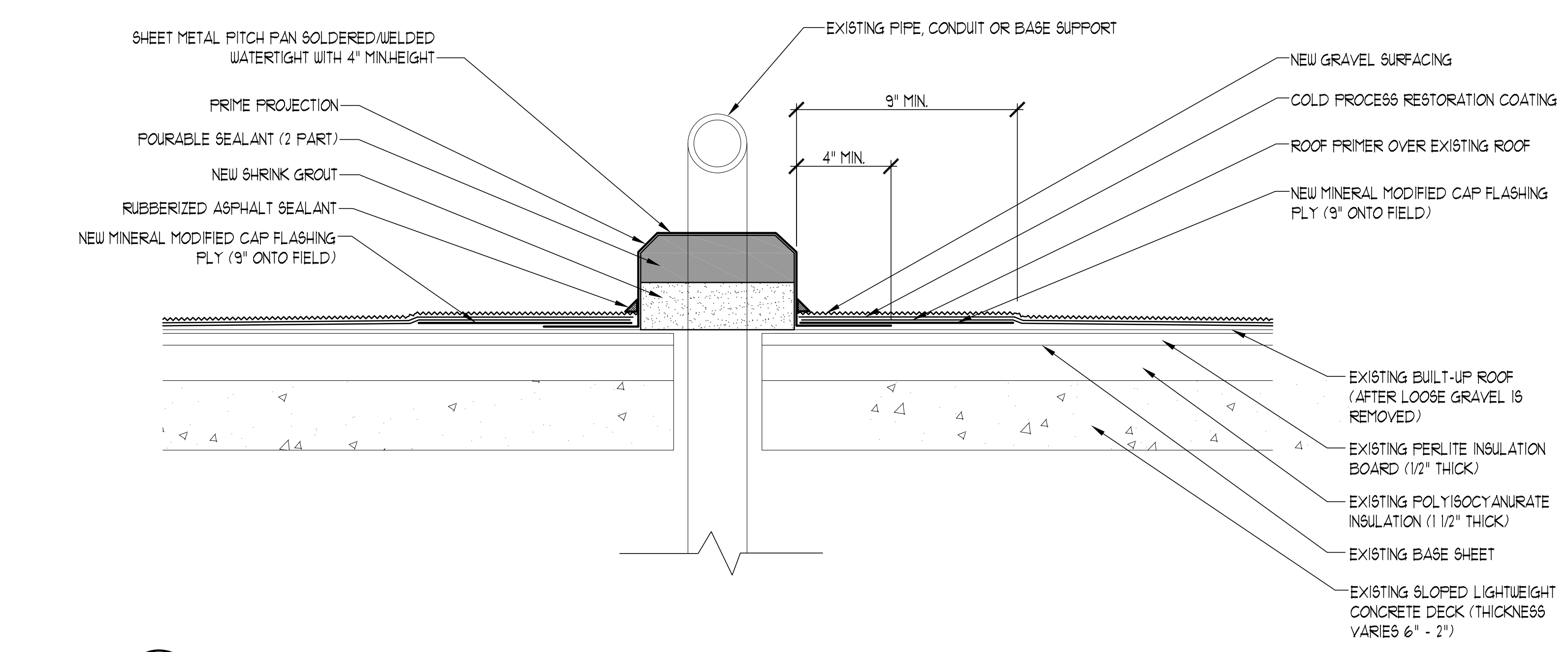
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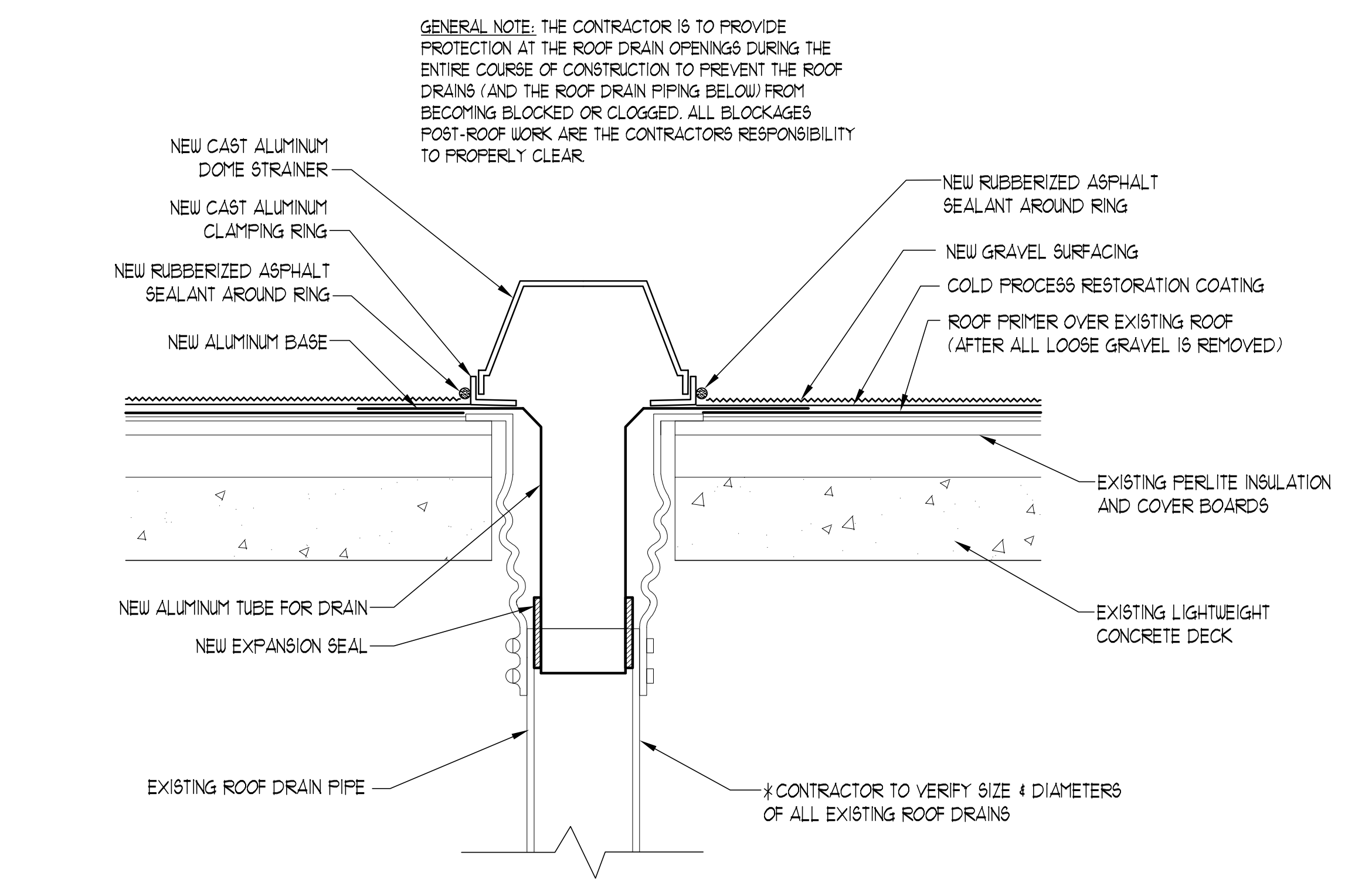
FOUNDERS HALL/MEDIA CENTER  
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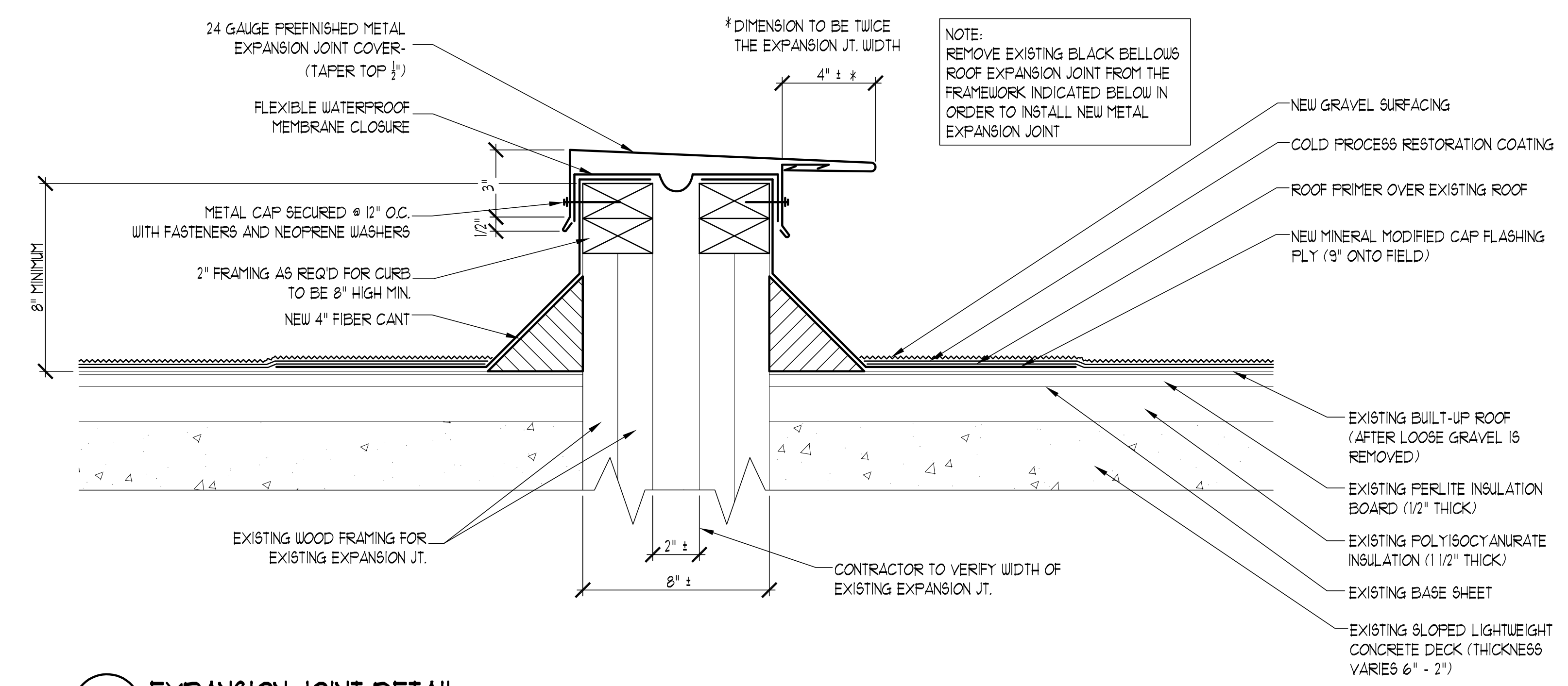
1 TYPICAL PARAPET CAP DETAIL  
A103 SCALE: 3/4"=1'-0"



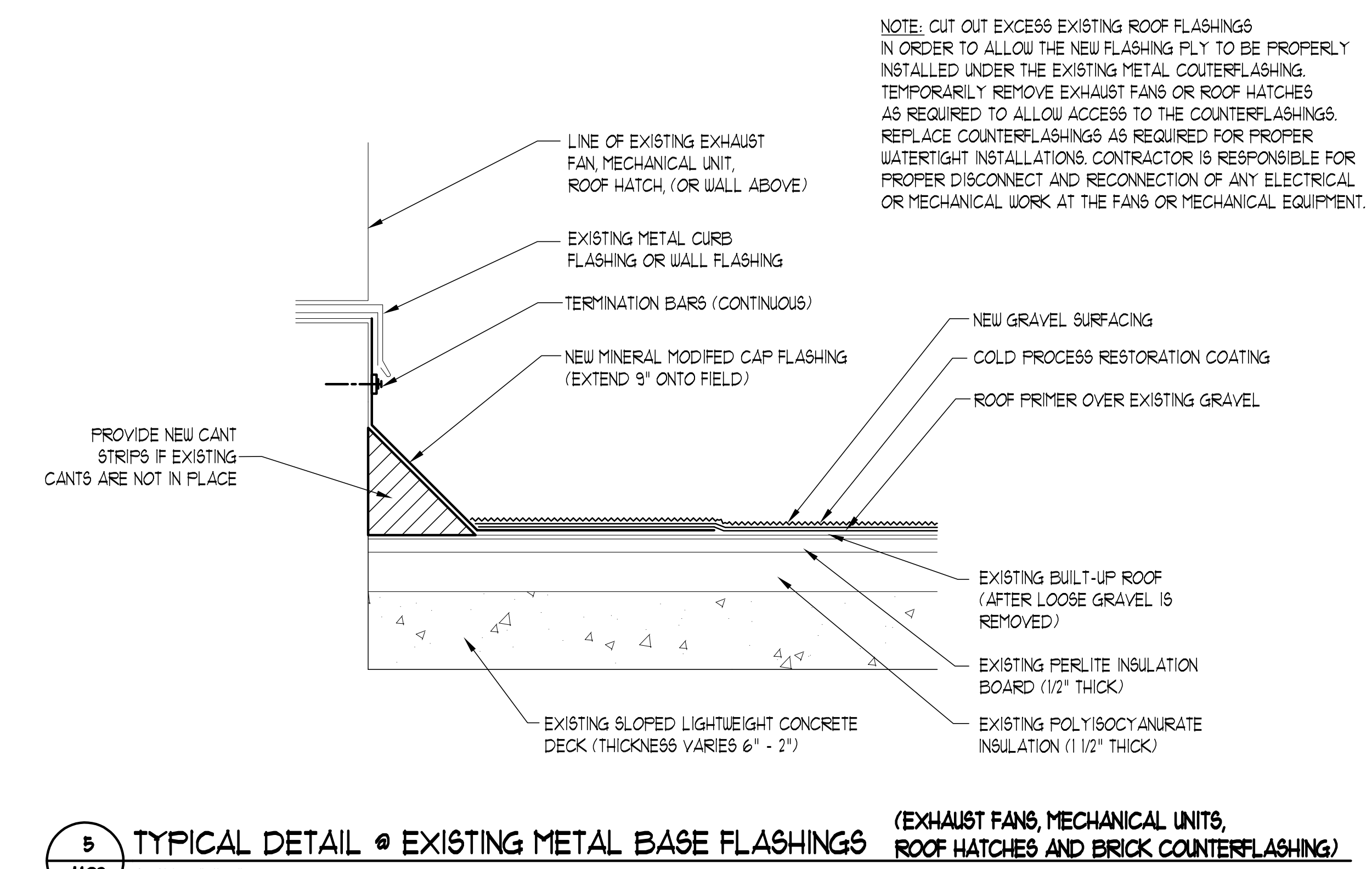
6 TYPICAL PITCH POCKET REBUILD  
A103 SCALE: 3/4"=1'-0"



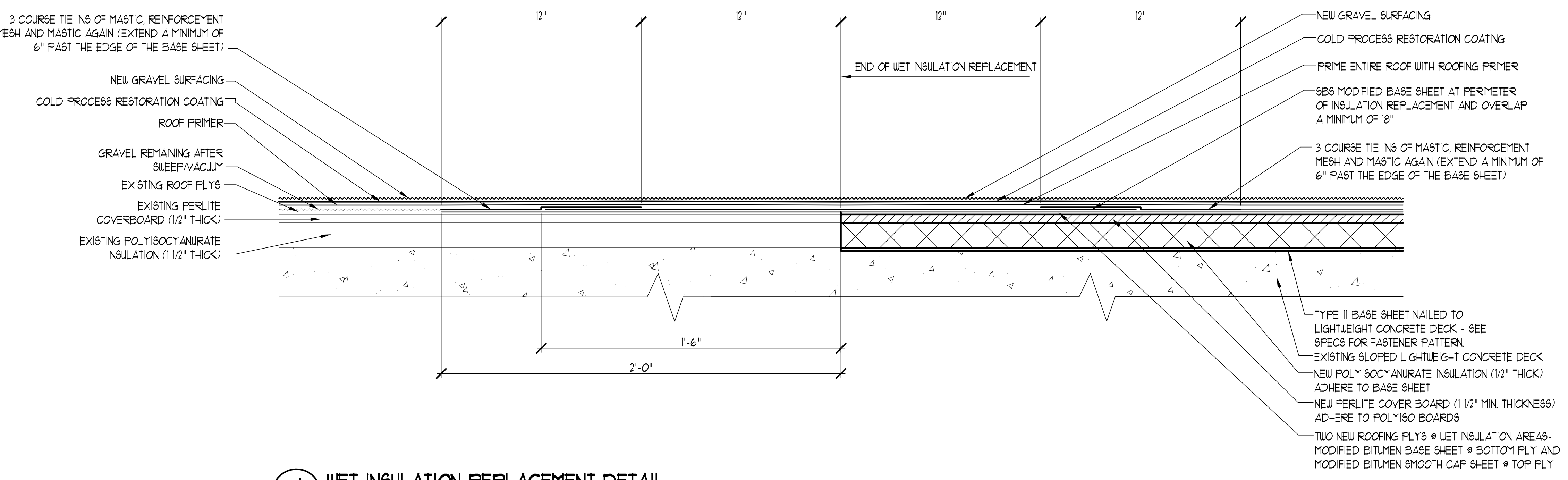
3 TYPICAL ROOF DRAIN INSERT  
A103 SCALE: 3/4"=1'-0"



2 EXPANSION JOINT DETAIL  
A103 SCALE: 3/4"=1'-0"



5 TYPICAL DETAIL @ EXISTING METAL BASE FLASHINGS (EXHAUST FANS, MECHANICAL UNITS, ROOF HATCHES AND BRICK COUNTERFLASHING)  
A103 SCALE: 3/4"=1'-0"



4 WET INSULATION REPLACEMENT DETAIL  
A103 SCALE: 3/4"=1'-0"

GENERAL NOTE: THE CONTRACTOR IS TO PROVIDE PROTECTION AT THE ROOF DRAIN OPENINGS DURING THE ENTIRE COURSE OF CONSTRUCTION TO PREVENT THE ROOF DRAINS (AND THE ROOF DRAIN PIPING BELOW) FROM BECOMING BLOCKED OR CLOGGED. ALL BLOCKAGES POST-ROOF WORK ARE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY CLEAR.

NOTE: REMOVE EXISTING BLACK BELLOUS ROOF EXPANSION JOINT FROM THE FRAMEWORK INDICATED BELOW IN ORDER TO INSTALL NEW METAL EXPANSION JOINT

NOTE: CUT OUT EXCESS EXISTING ROOF FLASHINGS IN ORDER TO ALLOW THE NEW FLASHING PLY TO BE PROPERLY INSTALLED UNDER THE EXISTING METAL COUNTERFLASHING. TEMPORARILY REMOVE EXHAUST FANS OR ROOF HATCHES AS REQUIRED TO ALLOW ACCESS TO THE COUNTERFLASHINGS. REPLACE COUNTERFLASHINGS AS REQUIRED FOR PROPER WATERTIGHT INSTALLATIONS. CONTRACTOR IS RESPONSIBLE FOR PROPER DISCONNECT AND RECONNECTION OF ANY ELECTRICAL OR MECHANICAL WORK AT THE FANS OR MECHANICAL EQUIPMENT.