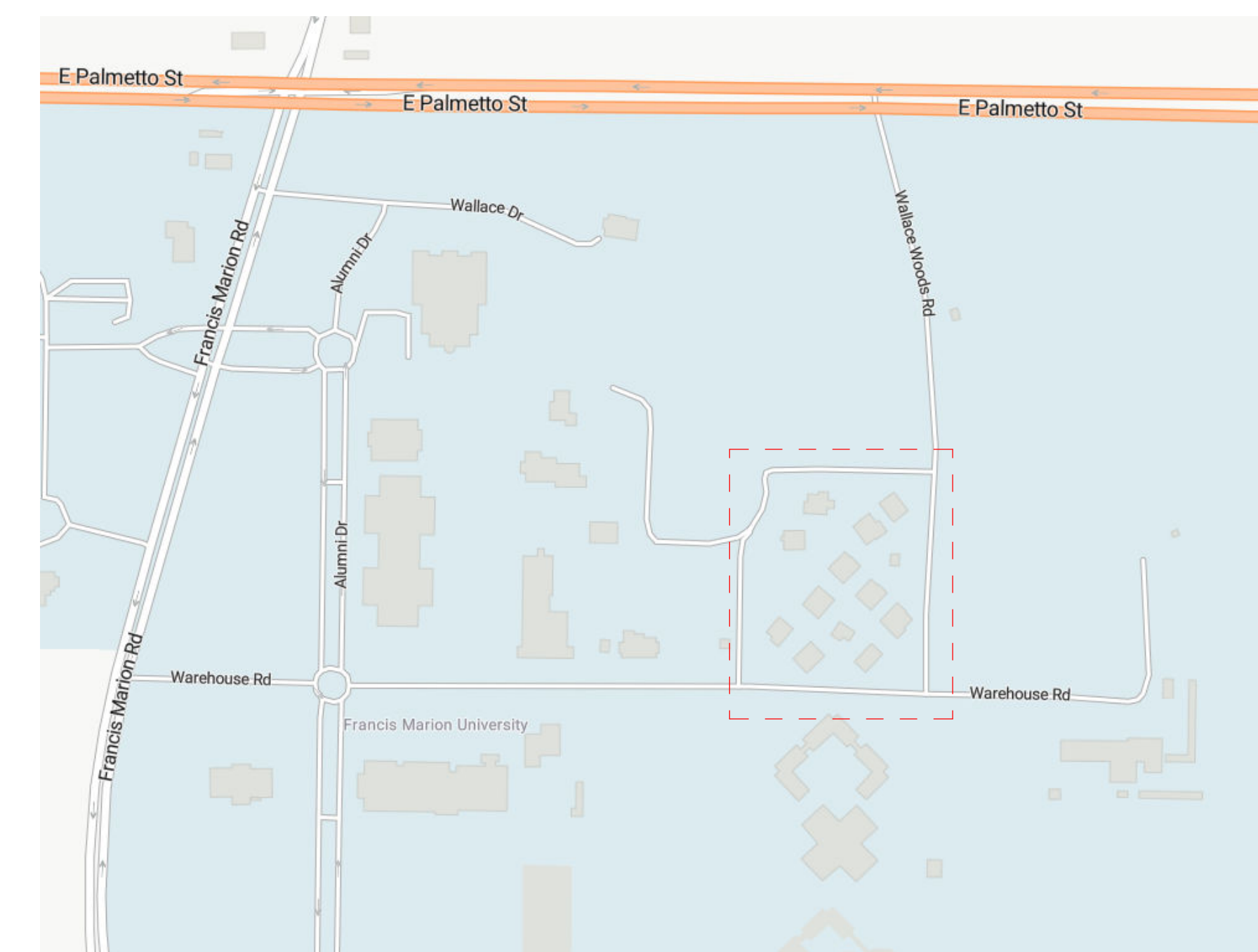
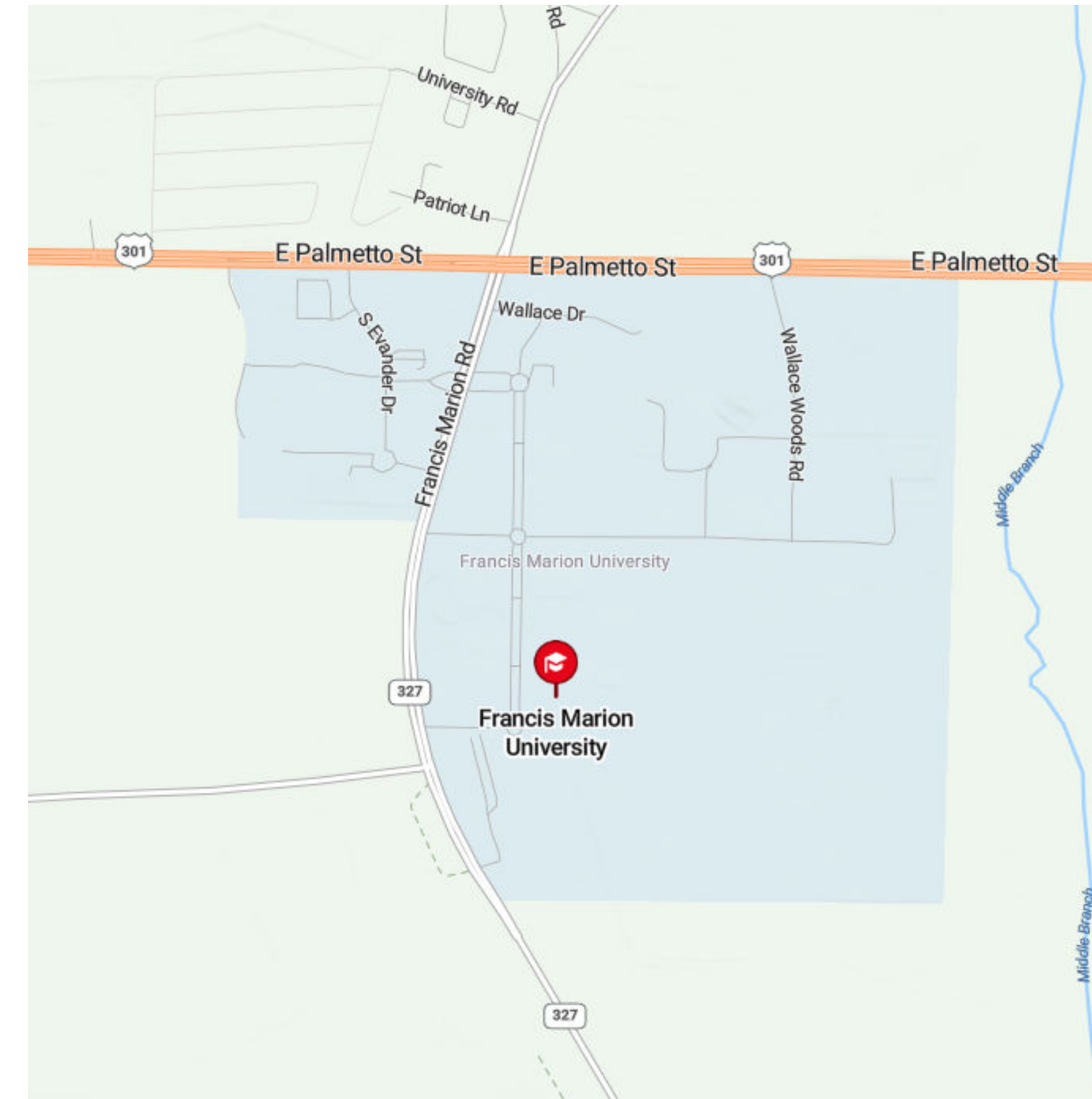


# FMU - Village Apts - 4 BR UNITS

OSE PROJECT NUMBER - H18-N092-SG

4822 E Palmetto St  
 Florence, SC 29506

**CONSTRUCTION DOCUMENTS - 04.24.2024**



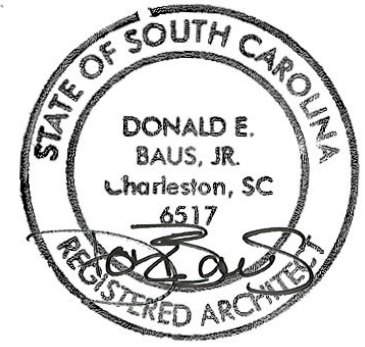
**LITTLE**  
 DIVERSIFIED ARCHITECTURAL CONSULTING

4900 O'Hear Avenue, Suite 100  
 North Charleston, SC 29405  
 (843) 212-9765

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ISSUE FOR  
**CONSTRUCTION DOCUMENTS**

ISSUE DATE  
**04.24.2024**

REVISIONS

NO.	REASON	DATE

PROJECT TEAM  
 PRINCIPAL IN CHARGE  
**D BAUS**  
 PROJECT MANAGER  
**S KERSCHEN**  
 DESIGN TEAM  
**CTURNER**

PROJECT NAME  
**FMU - Village Apts - 4 BR UNITS**  
 4822 E Palmetto St  
 Florence, SC 29506

OSE PROJECT NUMBER -  
**H18-N092-SG**

PROJECT NO.  
**4142052600**

SHEET TITLE  
**COVER SHEET**

SHEET NUMBER  
**CS**

**OWNER**  
**FRANCIS MARION UNIVERSITY**  
 4822 E. Palmetto St.  
 Florence, SC 29506

**OWNER'S REPRESENTATIVE**  
 FMU - VP for Facilities  
 + Construction  
 4822 E. Palmetto St  
 Florence, SC 29506  
 (843) 661-1101  
**Ralph Davis**

**ARCHITECT**  
 Little Diversified  
 Architectural Consulting  
 4900 O'Hear Avenue, Suite 100  
 North Charleston, SC 29405  
 (843) 212-0354  
**Don Baus**

ABBREVIATIONS

Table with 6 columns: Abbr., Abbreviated Phrase, Abbr., Abbreviated Phrase, Abbr., Abbreviated Phrase. Lists various construction abbreviations such as ACT, ADA, ADJ, AED, AFF, AL, ALT, AMC, APC, APPROX, ARCH, ARP, AWC, BBD, BD, BO, BOT, CL, CL, CAB, CC, CIR, CLG, CLOS, CLR, COL, CON, CON, CONT, CONTR, COORD, CPT, CRB, CT, CTR, D, DBL, DEG, DEMO, DET, DIA, DIM, DR, DS, DWG, DWN, DWR, EA, EL, ELEC, ELEV, EOS, EP, EQ, EQPT, EW, EWC, EXIST, EXP, EXT, FAAP, FACP, FBO, FDC, FE, FEC, FF, FIN, FLR, FLUOR, FO, etc.

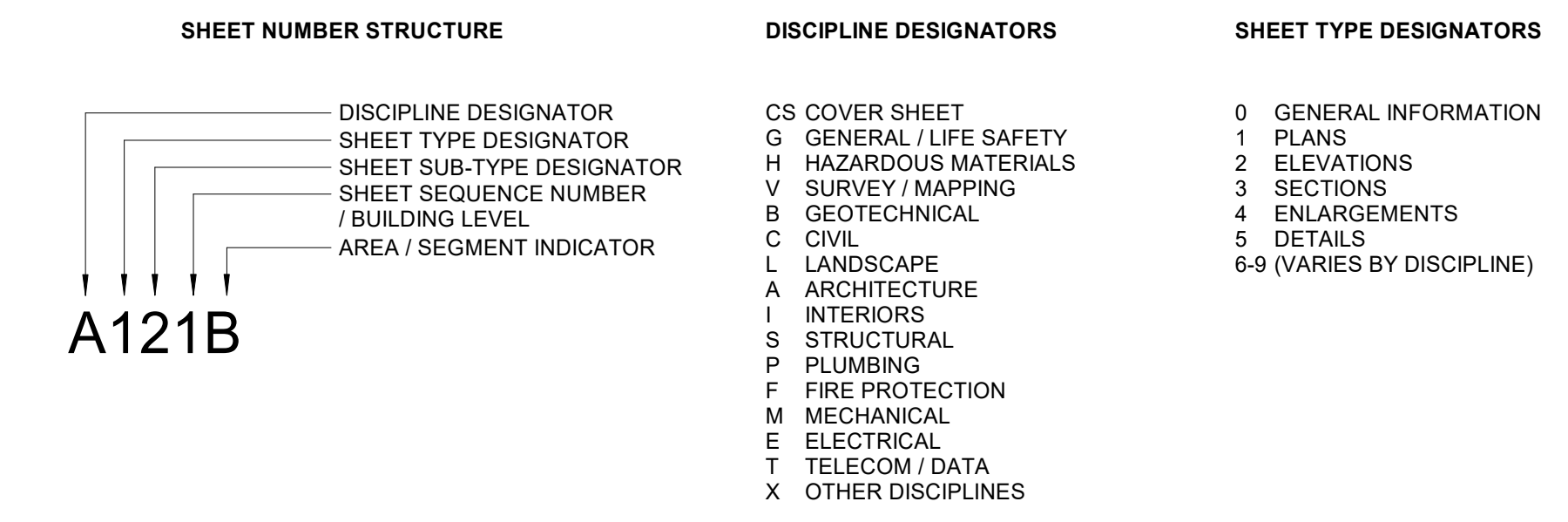
GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL, THE DRAWINGS AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
B. REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK.
C. COMPLIANCE WITH INDUSTRY STANDARDS, METHODS OF CONSTRUCTION, AND INSTALLATION AND ERECTION OF ELEMENTS AND MATERIALS ARE THE CONTRACTOR'S RESPONSIBILITY.
D. THE GC AND EACH SUBCONTRACTOR ARE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH THE ENTIRE SET OF THESE CONTRACT DOCUMENTS AND ARE IS RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH OTHER TRADES. CORRECTIONS FOR UNCOORDINATED WORK WILL BE MADE AT THE CONTRACTOR'S EXPENSE.
E. WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
F. PROTECT AREAS ADJACENT TO WORK AREA FROM DAMAGE DURING CONSTRUCTION. PATCH AND REPAIR ALL DAMAGED AREAS TO MATCH ADJACENT FINISH AND ENSURE A SMOOTH SURFACE DO NOT SCALE DRAWINGS. ALL PARTITION LOCATIONS, DIMENSIONS, AND TYPES, AND ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN SUPERSEDES OTHER PLANS.
G. COORDINATE AND PROVIDE METAL OR RATED SOLID WOOD (FIRE TREATED) BLOCKING IN PARTITIONS AND CEILING FOR ALL WALL HUNG AND CEILING ATTACHED ITEMS INCLUDING MILLWORK, EQUIPMENT, AND FURNITURE. COORDINATE WITH OWNER AND VENDOR TO IDENTIFY LOCATIONS AND SIZES OF ITEMS PROVIDED/INSTALLED BY OTHERS.
H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE OF GYPSUM BOARD, UNLESS INDICATED OTHERWISE. DIMENSIONS MARKED "CLEAR," "HOLD," AND "MIN" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES. COORDINATE THICKNESS WITH FINISH SCHEDULE, SPECIFICATIONS, AND DETAILS.
I. COLUMN CENTER LINES, OR GRID LINES, ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
J. PROVIDE PARTITION TYPE WITH THE HIGHEST UL AND/OR ACOUSTICAL PERFORMANCE RATING WHERE MORE THAN ONE PARTITION TYPE IS INDICATED.
K. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
L. MATERIALS USED IN UL RATED ASSEMBLIES SHALL CONFORM TO REFERENCED STANDARDS.
M. STENCIL BOTH SIDES OF UL RATED PARTITIONS ABOVE SCHEDULED CEILING WITH REQUIRED PROTECTION TEXT.
N. FIRE STOP PENETRATIONS IN UL RATED ASSEMBLIES TO MAINTAIN/ACHIEVE LEVEL OF PROTECTION REQUIRED FOR ASSEMBLY TYPE. FIRE STOP ALONG PERIMETER OF RATED ASSEMBLIES WHERE VOIDS OCCUR. REFER TO UL DETAILS FOR MORE INFORMATION. GC SHALL NOTIFY THE ARCHITECT OF ANY PENETRATIONS TO RATED ASSEMBLIES NOT COVERED BY THE UL DETAILS PROVIDED IN THIS DRAWING SET AND PROVIDE DETAILS FOR ARCHITECT REVIEW PRIOR TO PROCEEDING WITH WORK.
O. PROVIDE FIRE EXTINGUISHER CABINETS, SMOKE DETECTORS AND ALL OTHER LIFE SAFETY DEVICES AS REQUIRED BY CODE. PROVIDE DRAWING SHOWING LOCATION OF DEVICES FOR REVIEW PRIOR TO FRAMING OF WALLS. DO NOT PLACE IN FIRE RATED PARTITIONS.
P. PROVIDE HOT AND COLD WATER LINES, SOIL, VENT LINES AND PRESSURE AND SHUTOFF VALVES AS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING CODES FOR PLUMBING FIXTURES.
Q. COORDINATE SCHEDULE FOR TELEPHONE, DATA, SECURITY, AND AUDIO VISUAL INSTALLATIONS WITH TENANT AND OWNER.

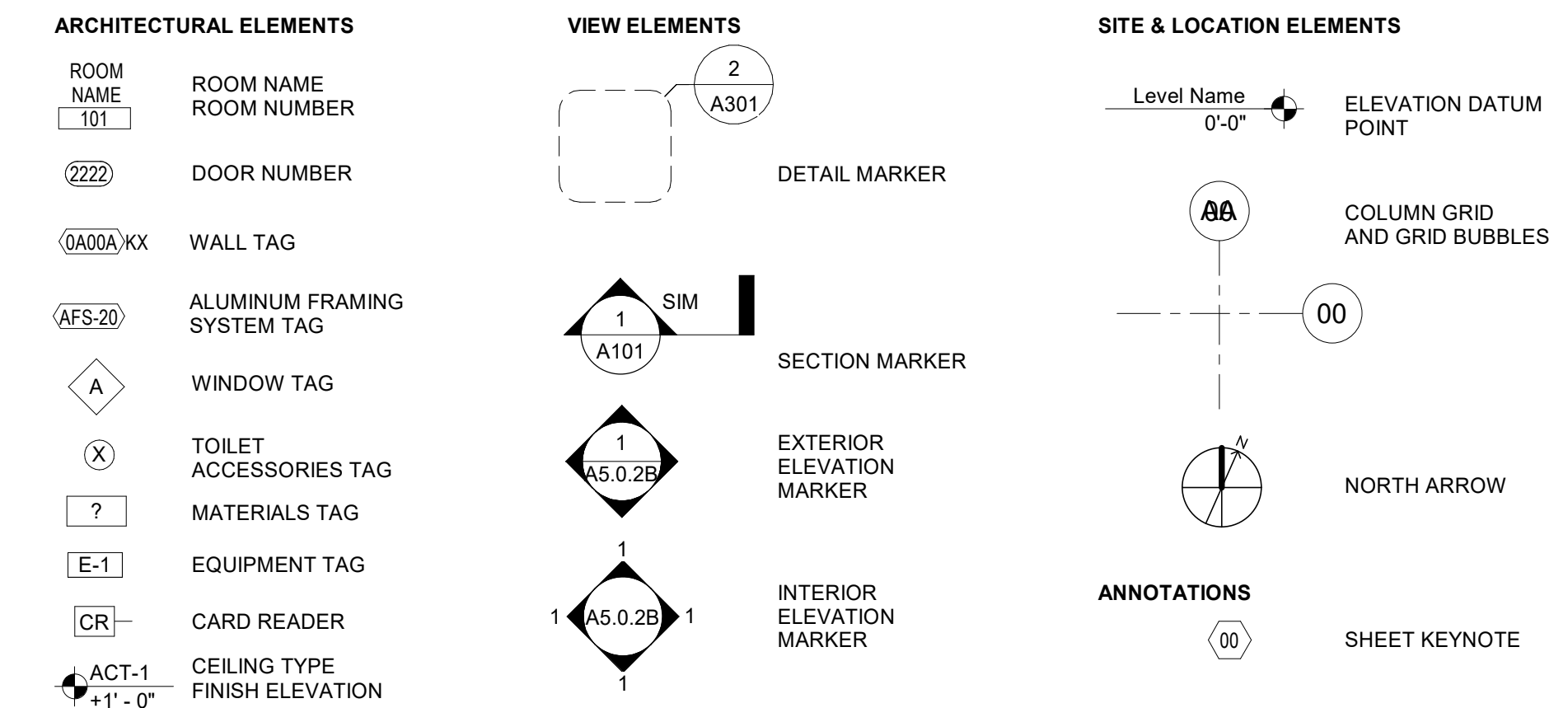
SHEET INDEX

Table with 2 columns: SHEET NUMBER, SHEET NAME. Lists sheets such as 00 COVER SHEET, 01 GENERAL/LIFE SAFETY, 04 ARCHITECTURE, AD111 DEMOLITION PLAN - LEVEL 01, A101 OVERALL FLOOR PLAN - LEVEL 01 - 4 BR, A111 ENLARGED FLOOR PLAN, CEILING PLAN, & FINISH PLAN - LEVEL 01 - 4BR.

SHEET NUMBERING LEGEND



SYMBOLS



CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.24.2024

Table with 3 columns: NO., REASON, DATE. Lists revisions.

Table with 3 columns: PROJECT TEAM, PRINCIPAL IN CHARGE (D BAUS), PROJECT MANAGER (S KERSCHEN), DESIGN TEAM (C TURNER).

PROJECT NO: 4142052600
SHEET TITLE: GENERAL INFORMATION AND SHEET INDEX
PROJECT NAME: FMU - Village Apts - 4 BR UNITS
ADDRESS: 4822 E Palmetto St, Florence, SC 29506
PROJECT NUMBER: OSE PROJECT NUMBER - H18-N082-SG

SHEET TITLE: GENERAL INFORMATION AND SHEET INDEX

SHEET NUMBER: G001

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W:\Community\College and University\4142052600 FMU Village Apartments Interior Renovation\2 Design\4 Drawings\Revit

4/30/2024 11:11:23 AM



## Code Summary

**Project Name:** Francis Marion University - Village Apartments Interior Renovation  
**Address:** 4822 E Palmetto St. Florence, SC 29506  
**Owner:** Francis Marion University  
**Owner Contact:** Ralph Davis - VP for Facilities + Construction  
 4822 E. Palmetto St. Florence, SC 29506  
 (843) 661-1101

**Owned By:**  City / County  Private  State  
**Authority Having Jurisdiction (AHJ):**  City \_\_\_\_\_  
 County \_\_\_\_\_  
 State \_\_\_\_\_

**Project Summary:**  
 New Construction  Renovation (Existing)  Uplift (First Generation)  
 Alteration  1  2  3  
 Proposed Use:  
 Description:

**Design Team:**

Primary	Designer	Firm	Name	Phone	Email
Architect	Little	Don Baus	843.212.9768	don.baus@littleonline.com	
Civil	N/A				
Landscape	N/A				
Structural	N/A				
Plumbing	N/A				
Mechanical	N/A				
Electrical	N/A				
Fire Protection	N/A				
Fire Alarm	N/A				

**Applicable Codes:**

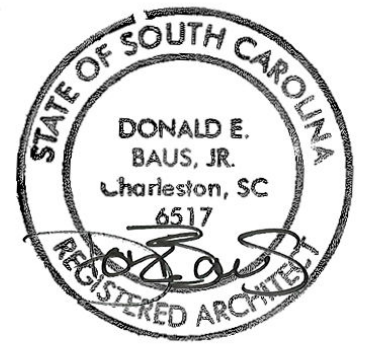
Building:	2021 South Carolina Building Code or the 2021 International Building Code with SC modifications '21
Fire:	2021 South Carolina Fire Code or the 2021 International Fire Code with SC modifications
Plumbing:	2021 South Carolina Plumbing Code or the 2021 International Plumbing Code with SC modifications '21
Mechanical:	South Carolina Mechanical Code or the 2021 International Mechanical Code with SC modifications 2021
Fuel Gas:	South Carolina Fuel Gas Code or the 2021 International Fuel Gas Code with SC modifications
Electrical:	2020 National Electrical Code (NFPA 70) with SC modifications
Energy:	2009 International Energy Conservation Code (Energy Standard Act)
Accessibility	

**Building Data:**

Bldg. Area:	Existing: No change.
Bldg. Stories:	Existing: No change.
Mezzanine:	N/A
Bldg. Height:	Existing: No change.
Construction Type:	Existing: No change.
Sprinklers:	Existing: Not sprinklered.
Standpipes:	
Fire District:	
Flood Zone:	

**Building Occupancy:**

Occupancy:	Residential (R-2)
Mixed Occupancy:	
Notes:	
Allowed Height:	
Allowed Area:	



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CONSTRUCTION DOCUMENTS

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REVISIONS

NO.	REASON	DATE

PROJECT TEAM

PRINCIPAL IN CHARGE  
D BAUS

PROJECT MANAGER  
S KERSCHEN

DESIGN TEAM  
C TURNER

PROJECT NAME

FMU - Village Apts - 4 BR UNITS

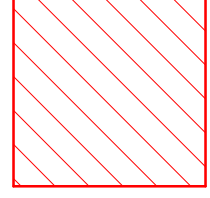
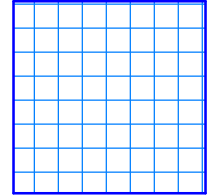
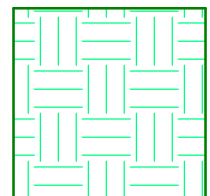
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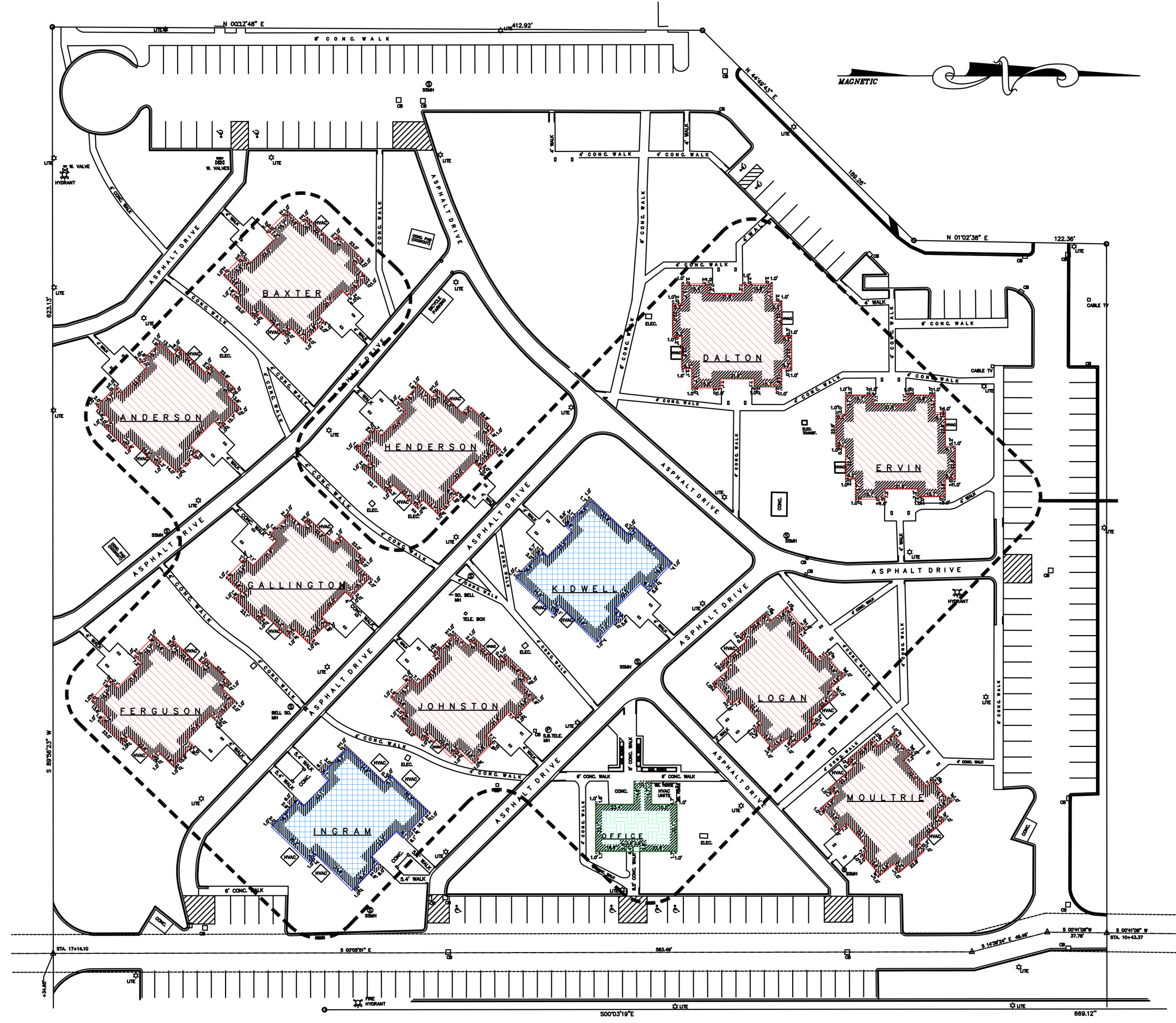
OSE PROJECT NUMBER -  
H18-N082-SG

PROJECT NO.  
4142052600

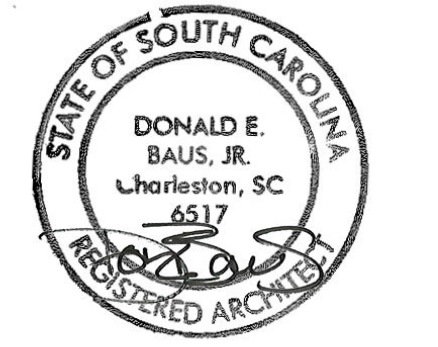
SHEET TITLE  
BUILDING CODE SUMMARY

SHEET NUMBER  
G002

-  4 Bedroom Buildings
-  1 Bedroom Buildings
-  1 Bedroom Large Buildings



1A SITE PLAN  
G003 NOT TO SCALE



ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.24.2024

REVISIONS:

NO.	REASON	DATE

PROJECT TEAM  
 PRINCIPAL IN CHARGE: D BAUS  
 PROJECT MANAGER: S KERSCHEN  
 DESIGN TEAM: C TURNER  
 PROJECT NAME: FMU - Village Apts - 4 BR UNITS  
 4822 E Palmetto St  
 Florence, SC 29506  
 OSE PROJECT NUMBER - H18-N082-SG

PROJECT NO: 4142052600

SHEET TITLE: SITE PLAN

SHEET NUMBER: G003

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MEANS OF EGRESS SIZING								
OCCUPANT LOAD	EGRESS CAPACITY FACTOR		EXIT WIDTHS REQUIRED		EXIT WIDTHS PROVIDED		NUMBER OF EXITS	
	STAIRS	DOORS	STAIRS	DOORS	STAIRS	DOORS	REQUIRED	PROVIDED
0	0.30"	0.20"	0.00"	0.00"				

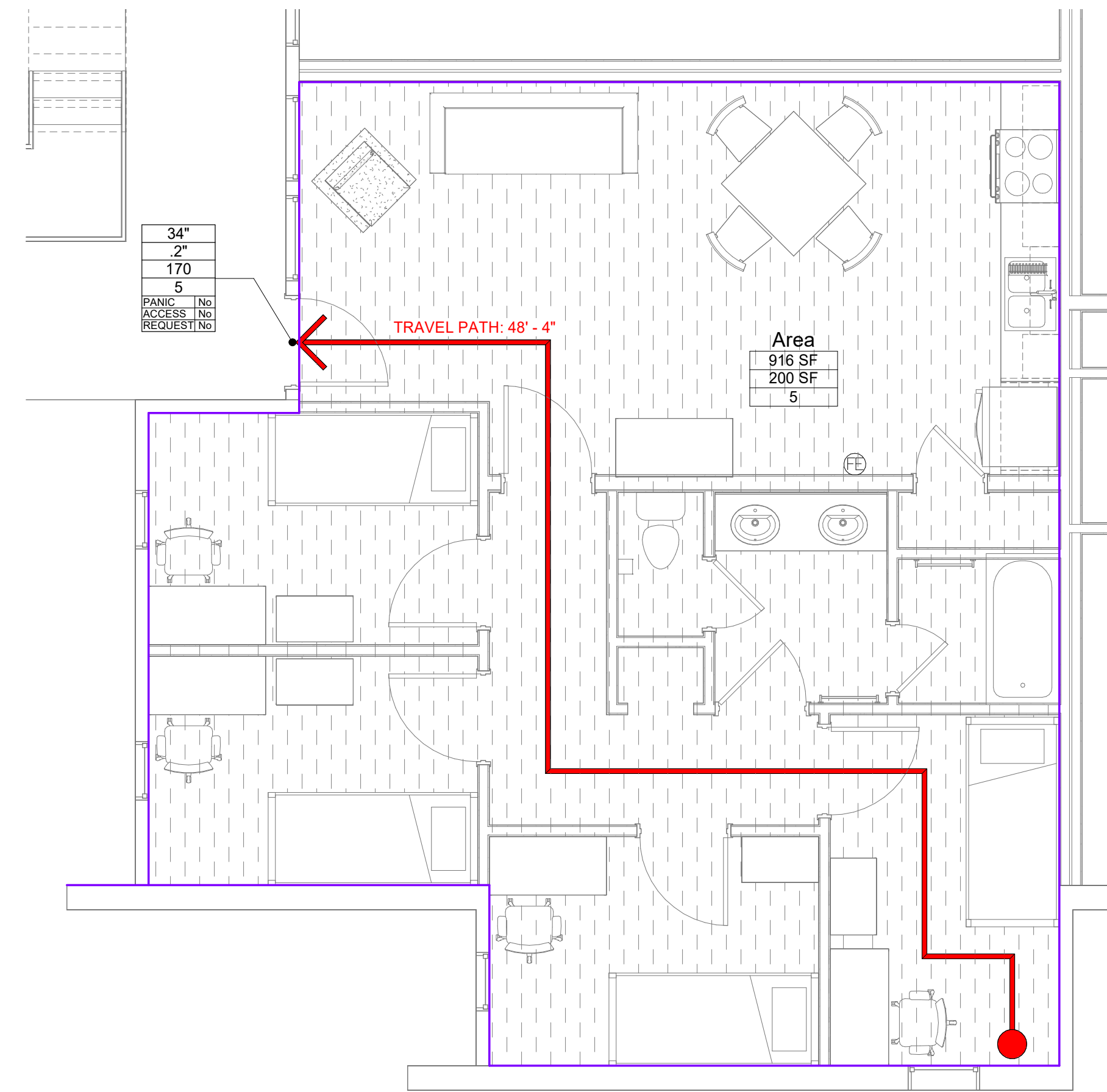
OCCUPANT LOAD				
DESCRIPTION	FUNCTION (USE) OF SPACE	AREA	Area per Occupant	OCCUPANT LOAD
R-2	RESIDENTIAL (GROSS)	916 SF	200 SF	5
Area		916 SF		5
LEVEL 01 OCCUPANT LOAD		916 SF		5

LIFE SAFETY SYMBOLS

- 34" CLEAR OPENING WIDTH
- 0.2" CLEAR WIDTH PER OCCUPANT
- 170 OCCUPANT CAPACITY
- 75 ACTUAL OCCUPANT LOAD
- 75 PANIC HARDWARE
- ACCESS CONTROL DEVICE (E.G. CARD READER)
- REQUEST TO EXIT

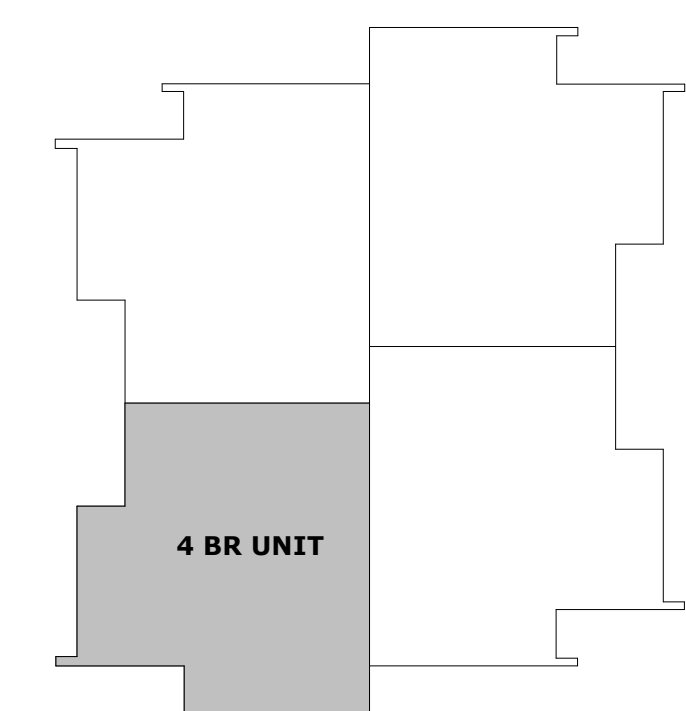
- TRAVEL DISTANCE SHOWN: 000'
- EXIT EGRESS DISTANCE
- EXIT EGRESS COMMON PATH
- TRAVEL DISTANCE SHOWN: 000'
- EXIT EGRESS DEAD END DISTANCE
- DIAGONAL DISTANCE: 14' - 0"
- OVERALL DIAGONAL DISTANCE
- DISTANCE BETWEEN EXITS: 14' - 0"
- EXIT REMOTENESS DISTANCE

- Area Name
- 150 SF
- Per Occupant
- AREA
- ILLUMINATED EXIT SIGN
- FE FIRE EXTINGUISHER



4C LIFE SAFETY PLAN - LEVEL 01  
G100 1/4" = 1'-0"

KEY PLAN



**LITTLE**  
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ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.24.2024

REVISIONS NO.	REASON	DATE

PROJECT TEAM  
PRINCIPAL IN CHARGE: D BAUS  
PROJECT MANAGER: S KERSCHEN  
DESIGN TEAM: Designer  
PROJECT NAME: FMU - Village Apts - 4 BR UNITS  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-N082-SG

PROJECT NO: 4142052600

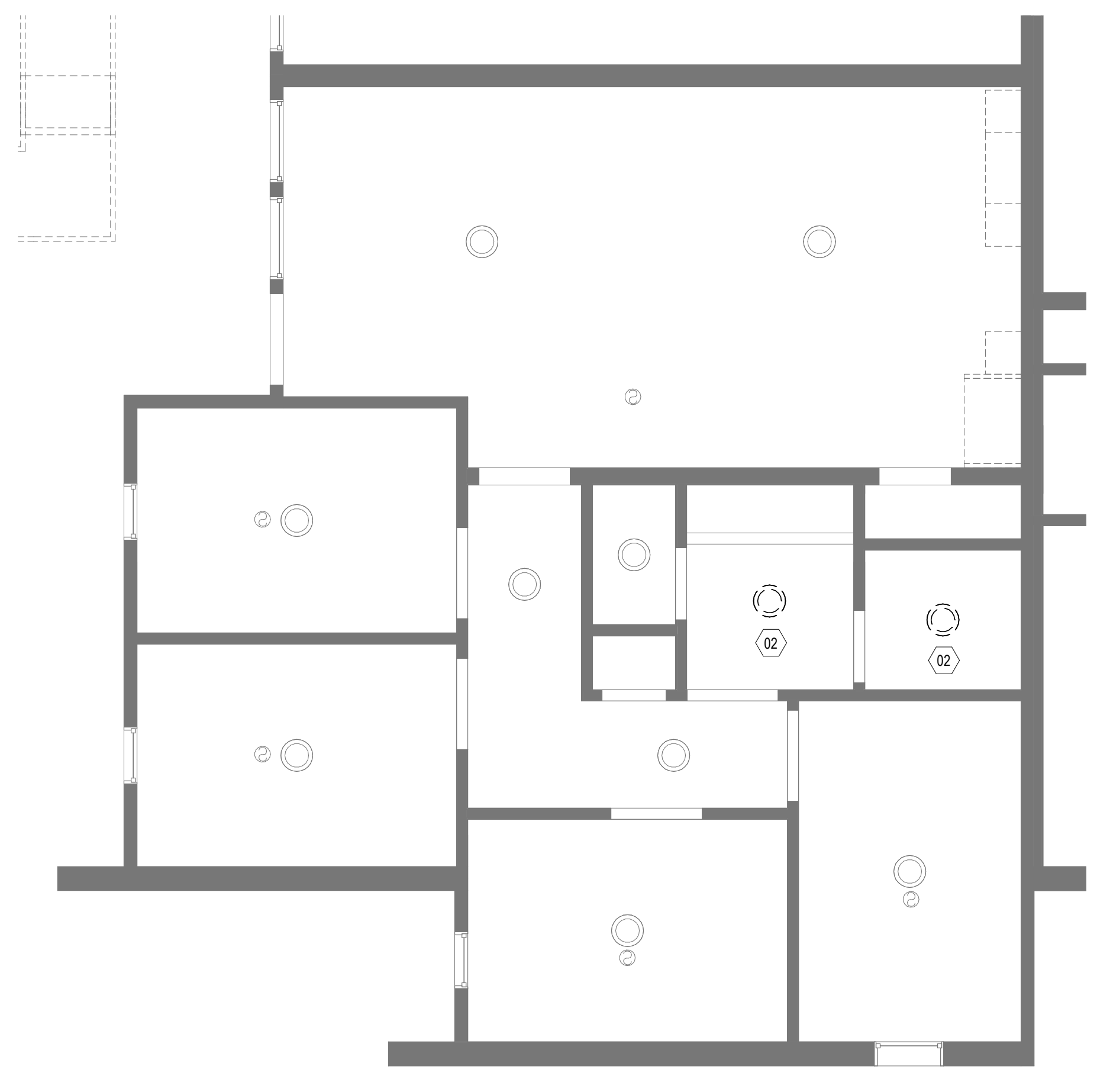
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SHEET NUMBER: G100

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**1D** DEMOLITION PLAN - LEVEL 01  
 AD111 1/4" = 1'-0"



**4D** DEMOLITION REFLECTED CEILING PLAN - LEVEL 01  
 AD111 1/4" = 1'-0"

**SHEET KEYED NOTES**

- 01 REMOVE ALL EXISTING FLOORING AND WALL BASE. CLEAN SLAB OF ANY ADHESIVE RESIDUE. AND PATCH AND PREP FOR NEW FINISHES.
- 02 REMOVE EXISTING LIGHTING AND PREP FOR NEW FIXTURES.

**SHEET GENERAL NOTES**

- A. VERIFY EXISTING JOB SITE CONDITIONS PERTAINING TO THE DEMOLITION WORK INDICATED AND/OR IMPLIED ON THE DRAWINGS AND REPORT ANY DISCREPANCIES AND/OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY FIELD CONDITION IN CONFLICT WITH NEW WORK. DO NOT PROCEED UNTIL ARCHITECT EVALUATES CONCERNS IN QUESTION.
- B. THIS PLAN IS NOT A COMPLETE REPRESENTATION OF ALL EXISTING CONDITIONS. IT IS INTENDED TO SHOW THE EXTENT OF DEMOLITION. SEE KEYED SHEET NOTES, DEMOLITION DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION. EVERYTHING INDICATED FOR REMOVAL IS TO BE REMOVED IN ITS ENTIRETY, INCLUDING HIDDEN MATERIALS.
- C. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED DAILY FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND BE DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES. VERIFY SALVAGE MATERIALS WITH THE OWNER'S REPRESENTATIVE.
- D. REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS, AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
- E. EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES. WHERE FLOOR FINISHES ARE TO BE REMOVED, REMOVE FINISH LAYERS, ADHESIVES, ETC. SUBFLOORS SHALL BE THOROUGHLY CLEANED AND LEVELED FOR THE INSTALLATION OF NEW FLOOR FINISHES. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR MOISTURE MITIGATION. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- F. PROVIDE SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND/OR SITE AT ALL TIMES AS WELL AS ACCESS TO ALL UTILITY CLOSETS AS REQUIRED. BUILDING FIRE ALARM, EMERGENCY LIGHTING, AND EXIT LIGHTS SHALL BE MAINTAINED AT ALL TIMES (BEFORE, DURING, AND AFTER DEMOLITION). REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- G. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- H. ALL SHUTDOWNS OF MECHANICAL, FIRE ALARM, AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER AND MAY OCCUR DURING NON-BUSINESS HOURS.
- I. CONTACT ARCHITECT IF EXTENT OF DEMOLITION IS UNCLEAR OR IS IN CONFLICT.
- J. COORDINATE WITH LIFE SAFETY PLANS WHERE SELECTIVE DEMOLITION OCCURS AT RATED PARTITIONS.
- K. WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE AND CURRENT BUILDING CODES AND ALL OTHER CODES THAT HAVE AUTHORITY OVER THIS PROJECT. SECURE REQUIRED PERMITS. PROVIDE NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING DEMOLITION.
- L. DEBRIS REMOVAL IS TO BE CONDUCTED IN A MANNER NOT TO INTERFERE WITH OCCUPIED SPACES.
- M. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE.
- N. PATCH AND REPAIR ANY DAMAGE TO FIRE PROOFING FOUND DURING DEMOLITION.
- O. PATCH AND FIRESTOP FLOOR SLAB PENETRATIONS. PROVIDE APPROPRIATE FIRESTOPPING CLOSURE/SEALANT AT ABANDONED FLOOR CORES AND PENETRATIONS.
- P. COORDINATE LIGHTING REQUIREMENTS WITH ELECTRICAL DRAWINGS TO MAINTAIN ADEQUATE LIGHTING TO MEET LIFE SAFETY REQUIREMENTS. LIGHT FIXTURES SHALL BE SUPPORTED FROM SLAB ABOVE.
- Q. THOROUGHLY CLEAN ALL SURFACES REMAINING DURING CONSTRUCTION AS REQUIRED TO PREPARE SPACE FOR NEW CONSTRUCTION. SURFACES THAT ARE ADJACENT TO SURFACES TO BE DEMOLISHED ARE TO BE PROTECTED AND RESTORED AS NECESSARY AS PART OF THE SCOPE OF WORK. RESTORATION SHALL EXTEND TO THE NEAREST BREAK IN THE SURFACE.
- R. ALL SPARE BREAKERS AVAILABLE AFTER COMPLETION OF THE PROJECT SHALL BE SWITCHED TO THE "OFF" POSITION.
- S. PRIOR TO AND DURING DEMOLITION, ALL ELEMENTS REQUESTED BY OWNER TO BE SALVAGED SHALL BE REMOVED AND DELIVERED TO AN AREA DESIGNATED BY THE OWNER OR TO A SECURE STORAGE UNDER THE CONTRACTOR'S CONTROL. ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE ITEMS FOR RELOCATION ARE PRESERVED INTACT.
- T. COORDINATE REMOVAL OF EQUIPMENT IN ROOMS PRIOR TO THE START OF DEMOLITION.

**LITTLE**  
 DIVERSIFIED ARCHITECTURAL CONSULTING  
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 Charleston, SC 29402  
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 LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC.  
 No. 021205  
 REGISTERED ARCHITECT  
 STATE OF SOUTH CAROLINA  
 DONALD E. BAUS, JR.  
 Charleston, SC  
 6617  
 REGISTERED ARCHITECT

**ISSUE FOR CONSTRUCTION DOCUMENTS**

ISSUE DATE  
 04.24.2024

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**PROJECT TEAM**  
 PRINCIPAL IN CHARGE  
 D BAUS  
 PROJECT MANAGER  
 S KERSCHEN  
**DESIGN TEAM**  
 C. TURNER

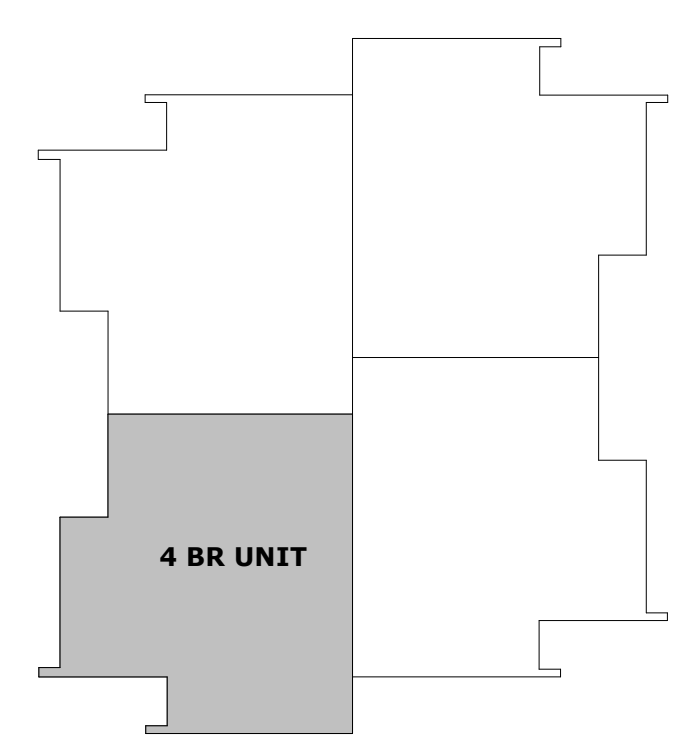
PROJECT NO.  
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 Florence, SC 29506  
 OSE PROJECT NUMBER -  
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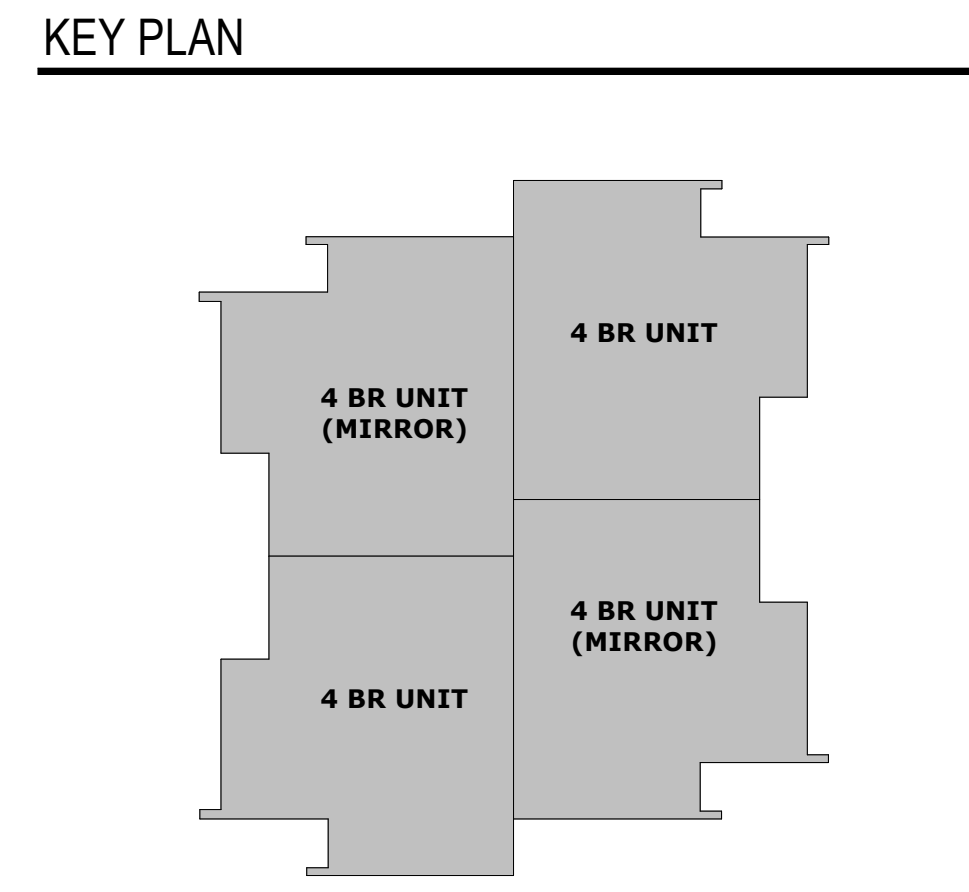
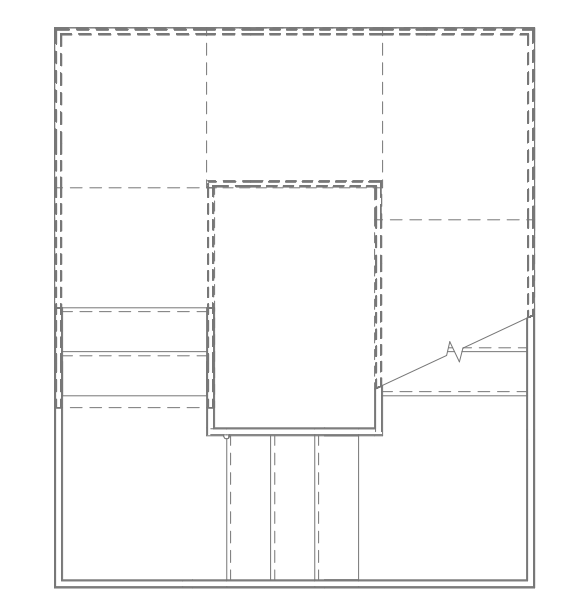
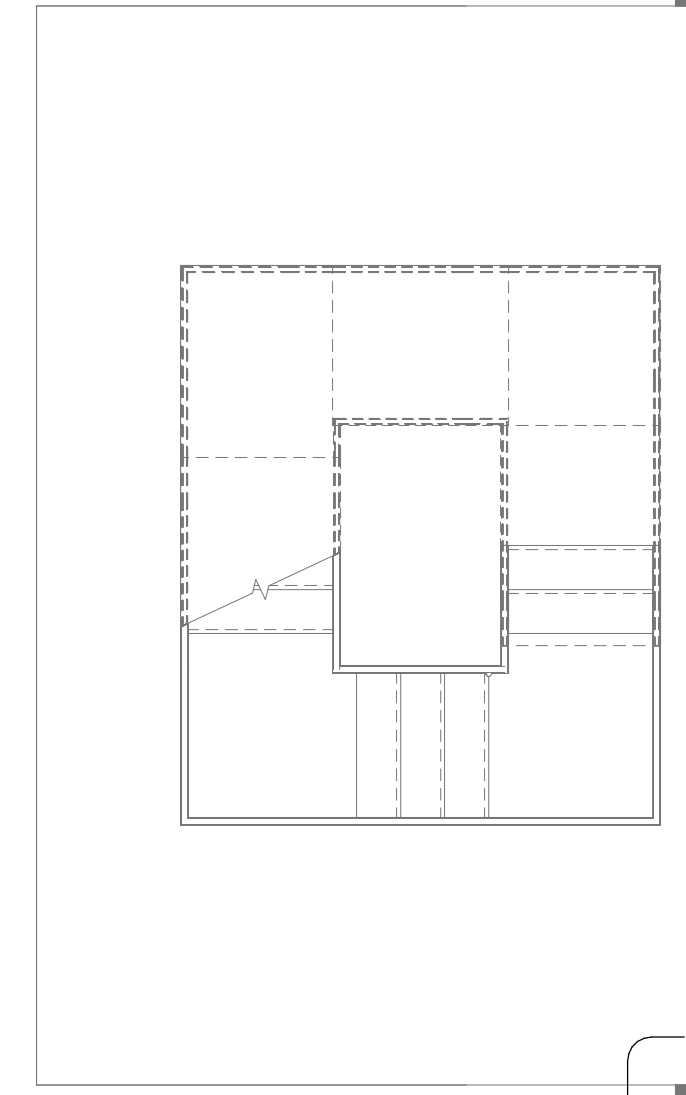
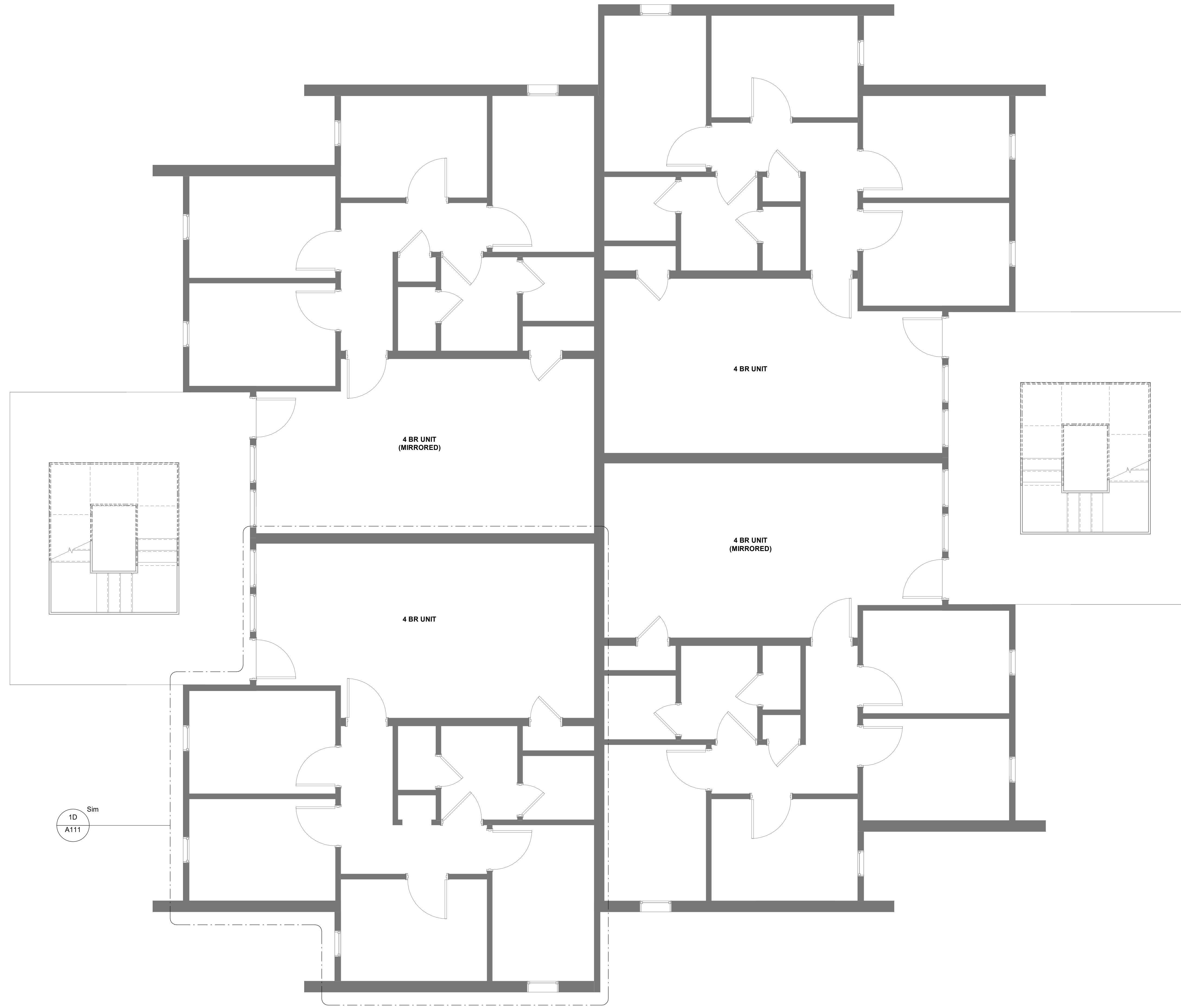
**PROJECT NO.**  
 4142052600

**SHEET TITLE**  
 DEMOLITION PLAN - LEVEL 01

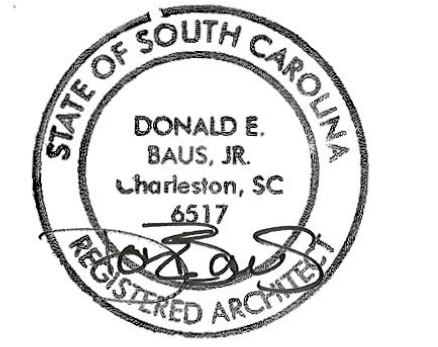
**SHEET NUMBER**  
 AD111

**KEY PLAN**





1A OVERALL PLAN - LEVEL 01- 4 BR  
A101 1/4" = 1'-0"



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PROJECT TEAM  
PRINCIPAL IN CHARGE: D BAUS  
PROJECT MANAGER: S KERSCHEN  
DESIGN TEAM: Designer

PROJECT NAME:  
FMU - Village Apts - 4 BR UNITS  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-N082-SG

PROJECT NO:  
4142052600

SHEET TITLE:  
OVERALL FLOOR PLAN - LEVEL 01 - 4 BR

SHEET NUMBER:  
A101

**SHEET GENERAL NOTES**

- A. COORDINATE ALL INSTALLATION WITH MANUFACTURERS' RECOMMENDATIONS AND WITHOUT VOIDING ANY WARRANTIES AND GOVERNING CODES.
- B. PROVIDE TOOLED SEALANT JOINT AT DISMILAR MATERIALS, SUCH AS MILLWORK OR DOOR FRAME AT A WALL.

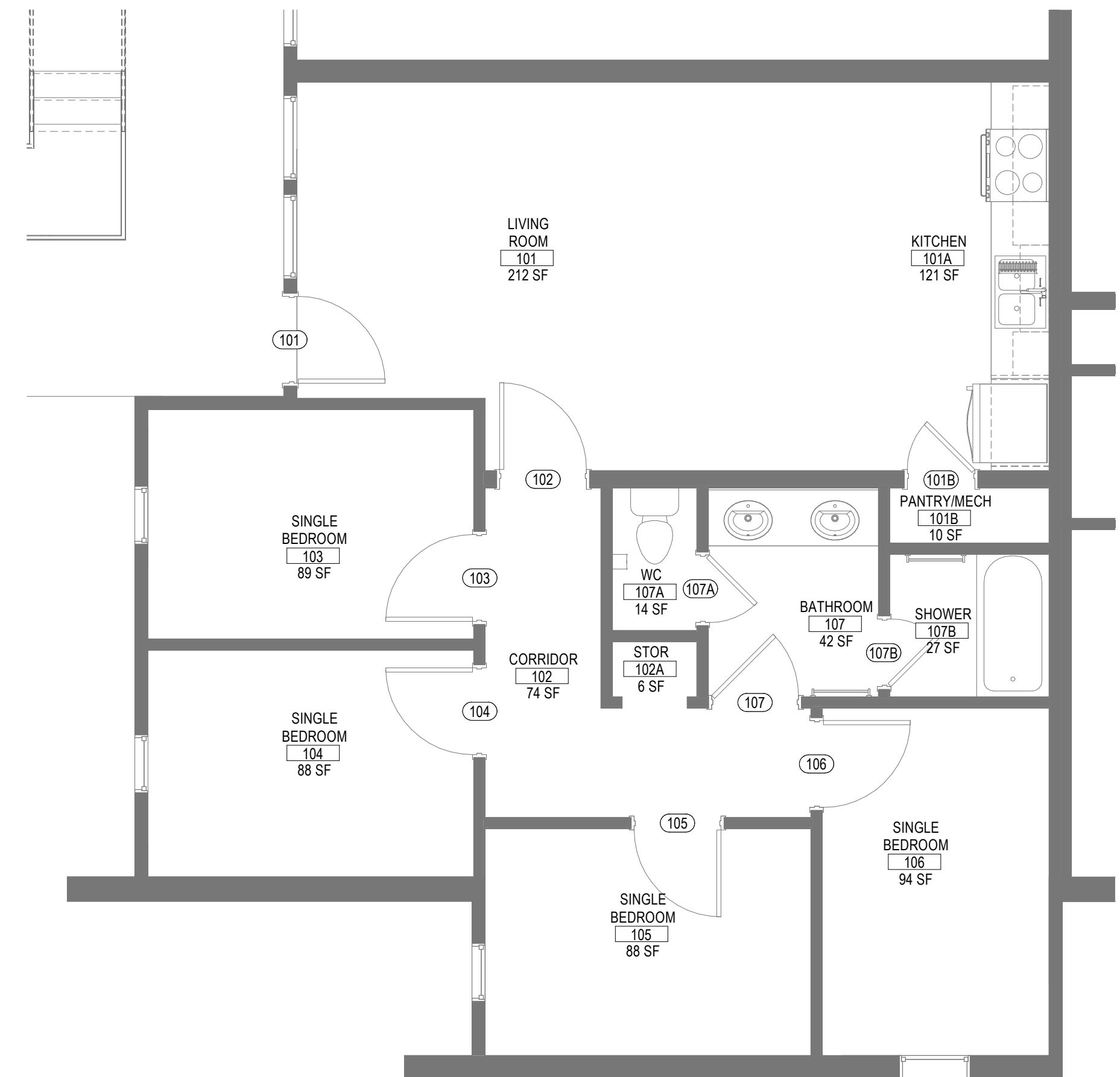
**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING

615 South College Street, Suite 1600  
Charleston, SC 29402  
(704) 525-6350

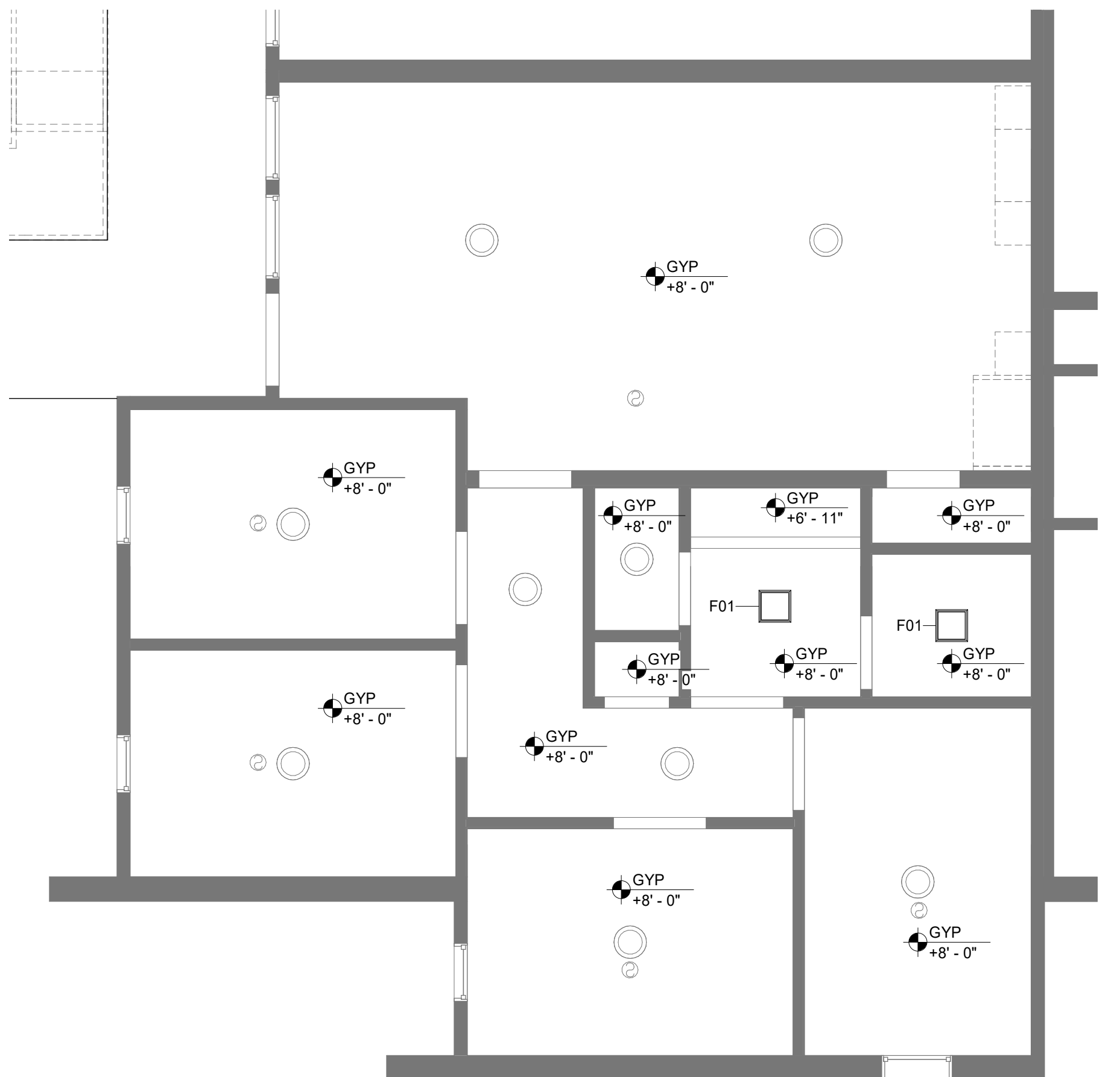
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**1D FLOOR PLAN - TYP. 4 BR - LEVEL 01**  
A111 1/4" = 1'-0" SHOWN FOR REFERENCE



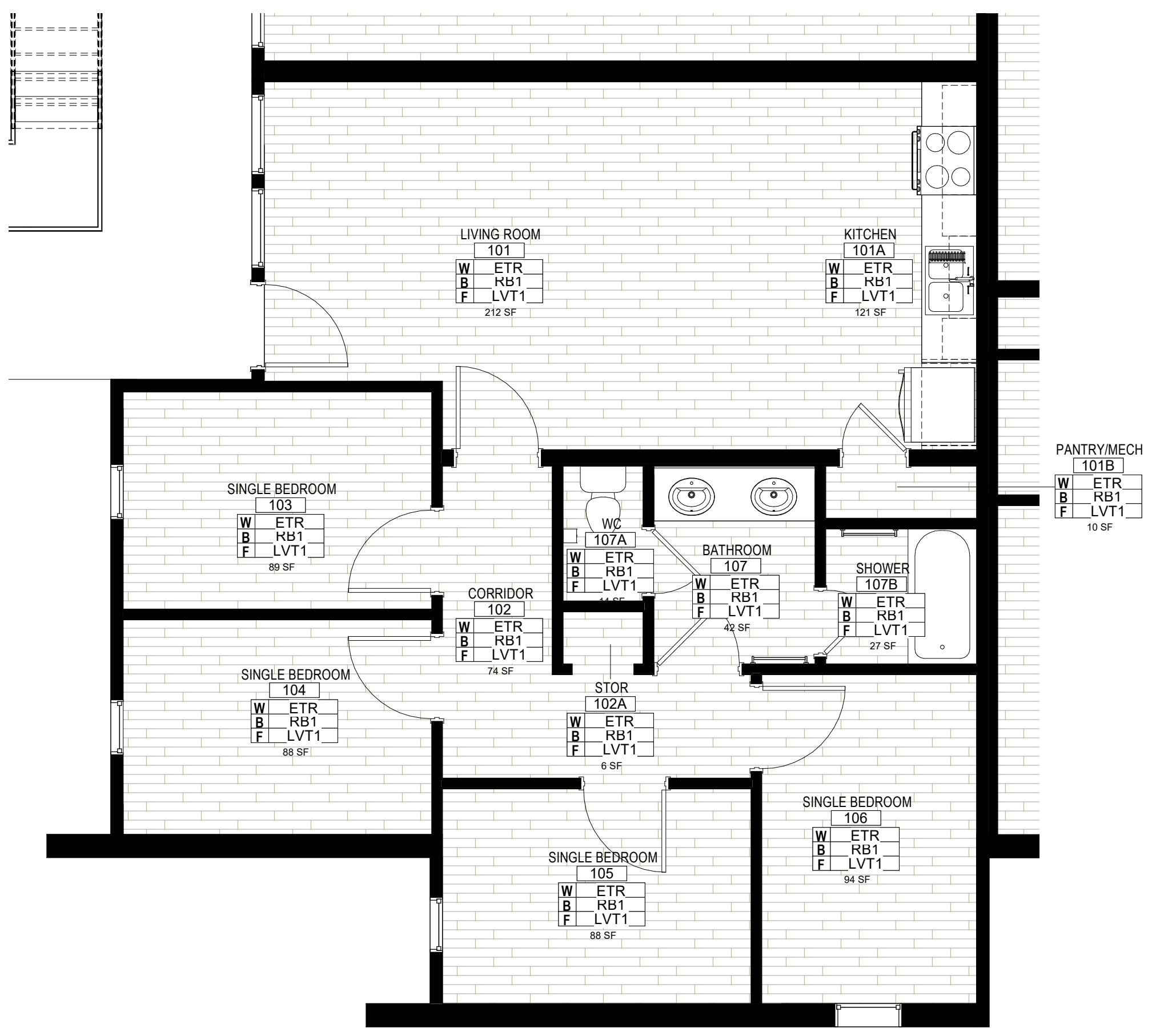
**4D ENLARGED CEILING PLAN - BATHROOM**  
A111 1/4" = 1'-0"

**LIGHTING FIXTURE SCHEDULE**

Type Mark	Manufacturer	Model	Comments
F01	JARTKA PRO	SKYLIGHT BREEZE INTEGRATED LED BATHROOM FAN	

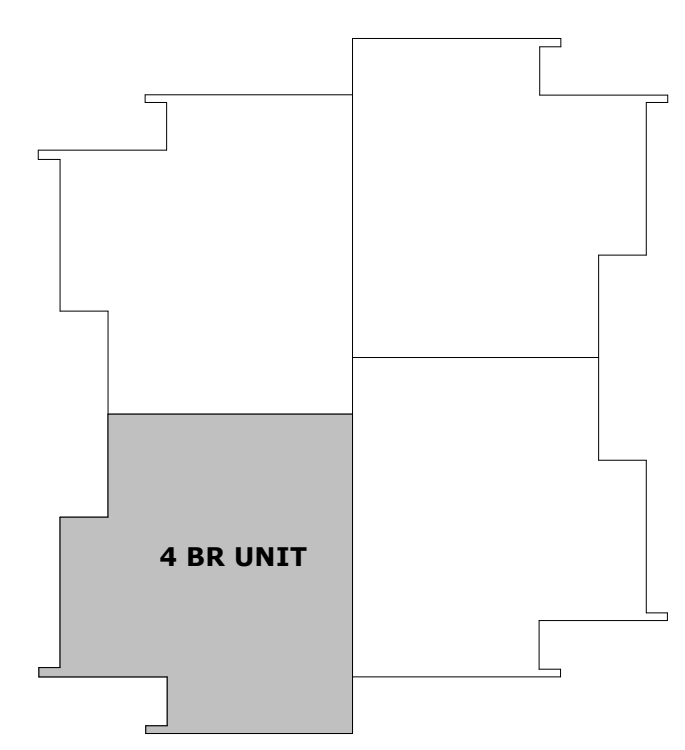
**FINISH SCHEDULE**

FINISH TYPE & NUMBER	TYPE DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	FINISH	SIZE	LOCATION	COMMENT
BASE + TRIM								
RB1	RESILIENT BASE	TARKETT	6"H COVE BASE		--	6"H		
FLOOR								
LVT1	LUXURY VINYL TILE	MANNINGTON COMMERCIAL	UPWARD 20	NATURAL OAK UPW20 3021	--	6" X 36"		



**4A FINISH PLAN - TYP. 4 BR - LEVEL 01**  
A111 1/4" = 1'-0"

**KEY PLAN**



**SOUTH CAROLINA**  
LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC.  
No. C21205  
EXPIRES 12/31/2025

**STATE OF SOUTH CAROLINA**  
DONALD E. BAUS, JR.  
Charleston, SC  
2017  
REGISTERED ARCHITECT

**ISSUE FOR CONSTRUCTION DOCUMENTS**

ISSUE DATE: 04.24.2024

REVISIONS NO.	REASON	DATE

**PROJECT TEAM**  
PRINCIPAL IN CHARGE: D BAUS  
PROJECT MANAGER: S KERSCHEN  
DESIGN TEAM: Designer

**PROJECT NAME**  
FMU - Village Apts - 4 BR UNITS  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-N082-SG

**PROJECT NO.**  
4142052600

**SHEET TITLE**  
ENLARGED FLOOR PLAN, CEILING PLAN, & FINISH PLAN - LEVEL 01 - 4BR

**SHEET NUMBER**  
A111

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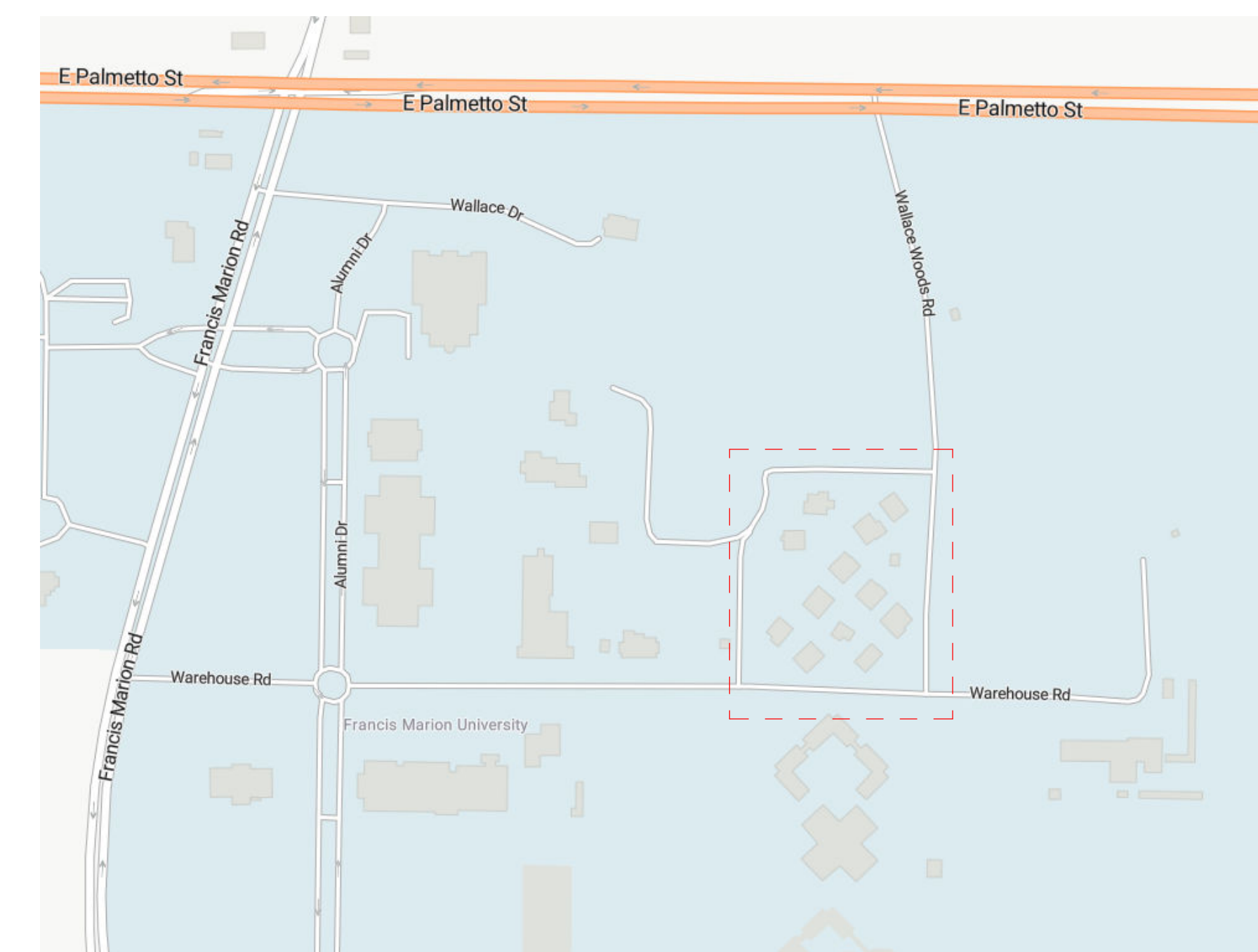
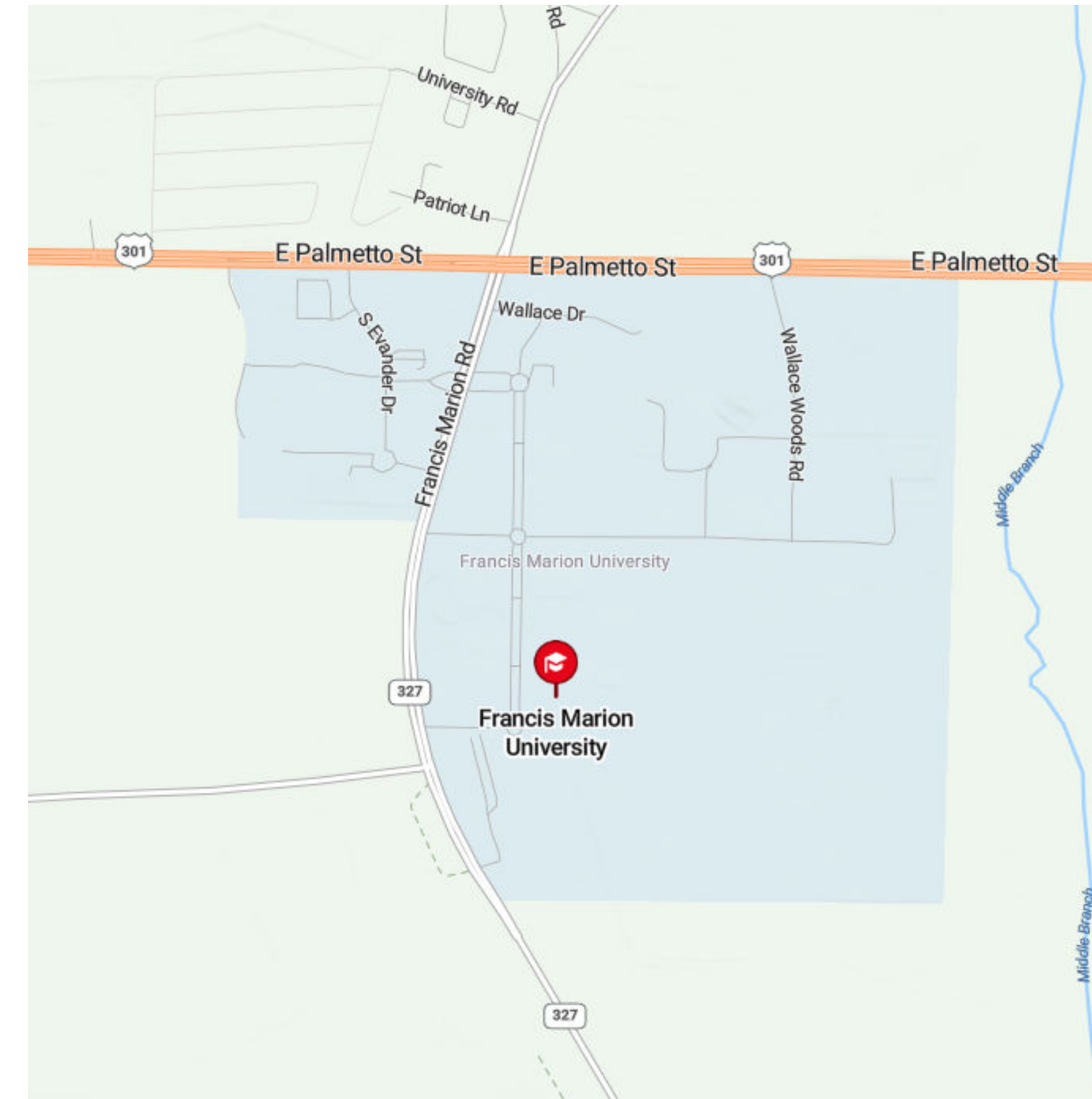


# FMU - Village Apts - 1 BR Units

OSE PROJECT NUMBER - H18-N092-SG

4822 E Palmetto St  
 Florence, SC 29506

**CONSTRUCTION DOCUMENTS - 04.24.2024**



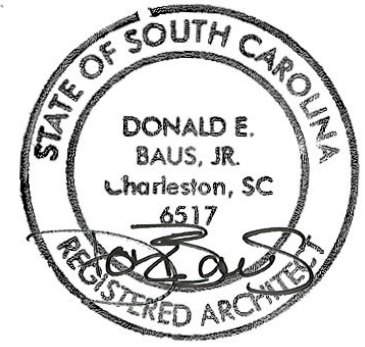
**LITTLE**  
 DIVERSIFIED ARCHITECTURAL CONSULTING

4900 O'Hear Avenue, Suite 100  
 North Charleston, SC 29405  
 (843) 212-9765

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**CONSTRUCTION DOCUMENTS**

ISSUE DATE  
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REVISIONS

NO.	REASON	DATE

PROJECT TEAM  
 PRINCIPAL IN CHARGE  
 D BAUS  
 PROJECT MANAGER  
 S KERSCHEN  
 DESIGN TEAM  
 C TURNER

PROJECT NAME  
 FMU - Village Apts - 1 BR Units  
 4822 E Palmetto St  
 Florence, SC 29506

OSE PROJECT NUMBER -  
 H18-N092-SG

PROJECT NO.  
**4142052600**

SHEET TITLE  
**COVER SHEET**

SHEET NUMBER  
**CS**

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**OWNER**  
 FRANCIS MARION  
 UNIVERSITY  
 4822 E. Palmetto St.  
 Florence, SC 29506

**OWNER'S REPRESENTATIVE**  
 FMU - VP for Facilities  
 + Construction  
 4822 E. Palmetto St  
 Florence, SC 29506  
 (843) 661-1101  
 Ralph Davis

**ARCHITECT**  
 Little Diversified  
 Architectural Consulting  
 4900 O'Hear Avenue, Suite 100  
 North Charleston, SC 29405  
 (843) 212-0354  
 Don Baus





### Code Summary

**Project Name:** Francis Marion University - Village Apartments Interior Renovation  
**Address:** 4822 E Palmetto St. Florence, SC 29506  
**Owner:** Francis Marion University  
**Owner Contact:** Ralph Davis - VP for Facilities + Construction  
 4822 E. Palmetto St. Florence, SC 29506  
 (843) 661-1101

**Owned By:**  City / County  Private  State  
**Authority Having Jurisdiction (AHJ):**  City \_\_\_\_\_  
 County \_\_\_\_\_  
 State \_\_\_\_\_

**Project Summary:**  
 New Construction  Renovation (Existing)  Uplift (First Generation)  
 Alteration  1  2  3  
 Proposed Use:  
 Description:

**Design Team:**

Primary	Designer	Firm	Name	Phone	Email
Architect	Little	Don Baus	843.212.9768	don.baus@littleonline.com	
Civil	N/A				
Landscape	N/A				
Structural	N/A				
Plumbing	N/A				
Mechanical	N/A				
Electrical	N/A				
Fire Protection	N/A				
Fire Alarm	N/A				

**Applicable Codes:**

Building:	2021 South Carolina Building Code or the 2021 International Building Code with SC modifications '21
Fire:	2021 South Carolina Fire Code or the 2021 International Fire Code with SC modifications
Plumbing:	2021 South Carolina Plumbing Code or the 2021 International Plumbing Code with SC modifications '21
Mechanical:	South Carolina Mechanical Code or the 2021 International Mechanical Code with SC modifications 2021
Fuel Gas:	South Carolina Fuel Gas Code or the 2021 International Fuel Gas Code with SC modifications
Electrical:	2020 National Electrical Code (NFPA 70) with SC modifications
Energy:	2009 International Energy Conservation Code (Energy Standard Act)
Accessibility	

**Building Data:**

Bldg. Area:	Existing: No change.
Bldg. Stories:	Existing: No change.
Mezzanine:	N/A
Bldg. Height:	Existing: No change.
Construction Type:	Existing: No change.
Sprinklers:	Existing: Not sprinklered.
Standpipes:	
Fire District:	
Flood Zone:	

**Building Occupancy:**

Occupancy:	Residential (R-2)
Mixed Occupancy:	
Notes:	
Allowed Height:	
Allowed Area:	



ISSUE FOR CONSTRUCTION DOCUMENTS

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NO.	REASON	DATE

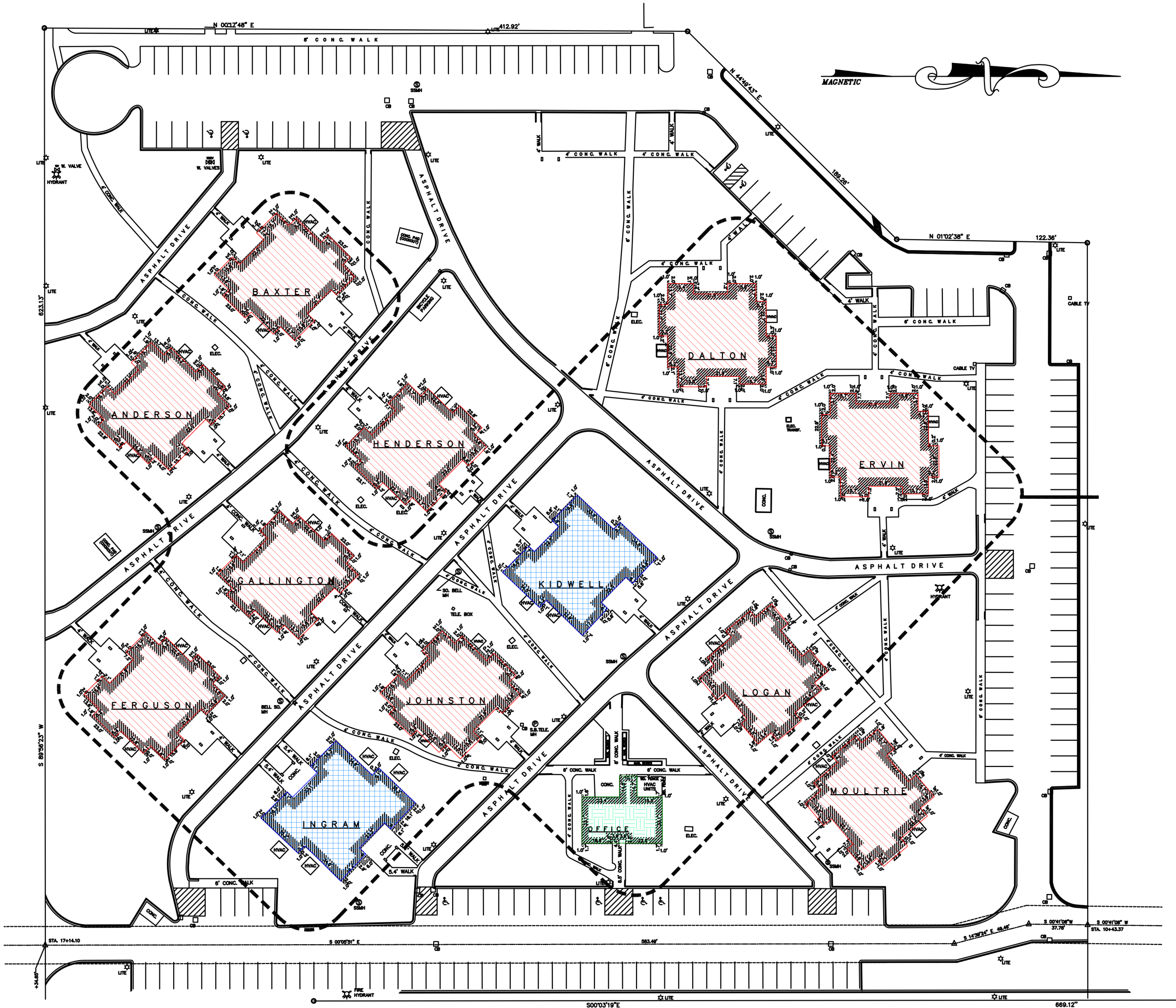
**PROJECT TEAM**  
 PRINCIPAL IN CHARGE  
 D BAUS  
 PROJECT MANAGER  
 S KERSCHEN

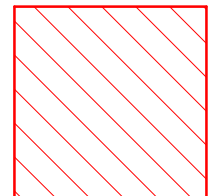
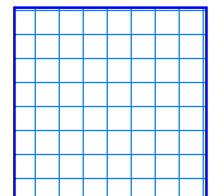
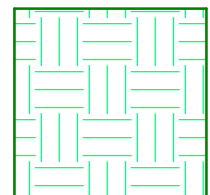
**DESIGN TEAM**  
 Designer  
**PROJECT NAME**  
 FMU - Village Apts - 1 BR Units  
 4822 E Palmetto St  
 Florence, SC 29506  
 OSE PROJECT NUMBER -  
 H18-N092-SG

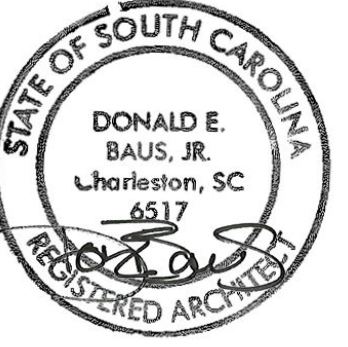
PROJECT NO.  
4142052600

SHEET TITLE  
BUILDING CODE SUMMARY

SHEET NUMBER  
G002



-  4 Bedroom Buildings
-  1 Bedroom Buildings
-  1 Bedroom Large Buildings



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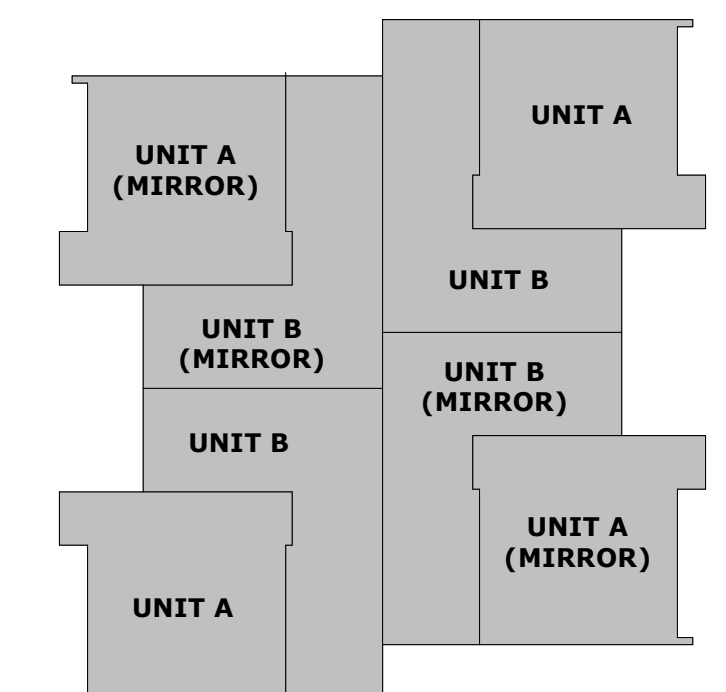
REVISIONS NO.	REASON	DATE

PROJECT TEAM  
PRINCIPAL IN CHARGE  
D BAUS  
PROJECT MANAGER  
S KERSCHEN  
DESIGN TEAM  
Designer

PROJECT NAME  
FMU - Village Apts - 1 BR Units  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER -  
H18-N092-SG

PROJECT NO.  
4142052600  
SHEET TITLE  
SITE PLAN

SHEET NUMBER  
G003



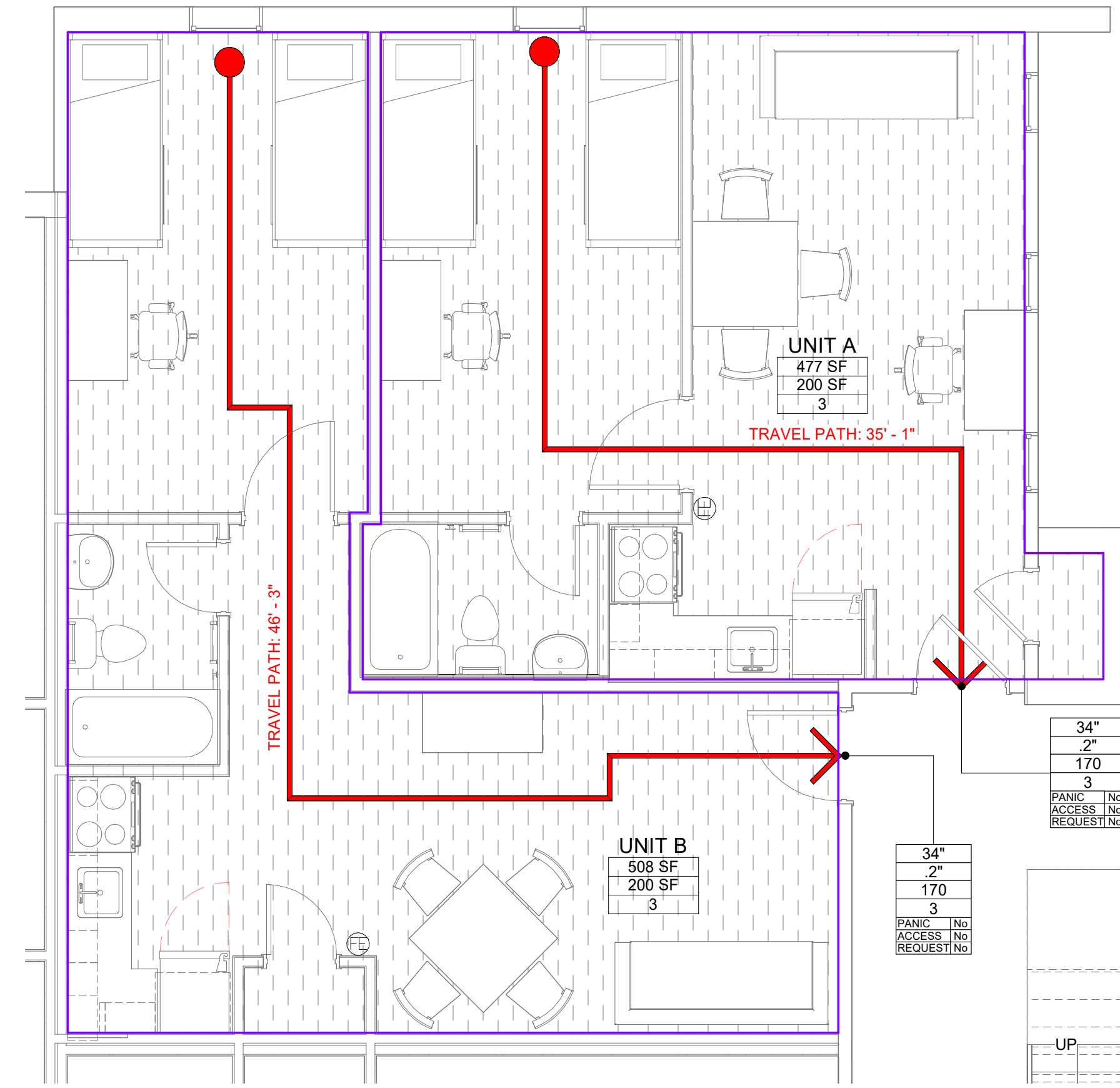
1A SITE PLAN  
G003 NOT TO SCALE

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MEANS OF EGRESS SIZING								
OCCUPANT LOAD	EGRESS CAPACITY FACTOR		EXIT WIDTHS REQUIRED		EXIT WIDTHS PROVIDED		NUMBER OF EXITS	
	STAIRS	DOORS	STAIRS	DOORS	STAIRS	DOORS	REQUIRED	PROVIDED
0	0.30"	0.20"	0.00"	0.00"				

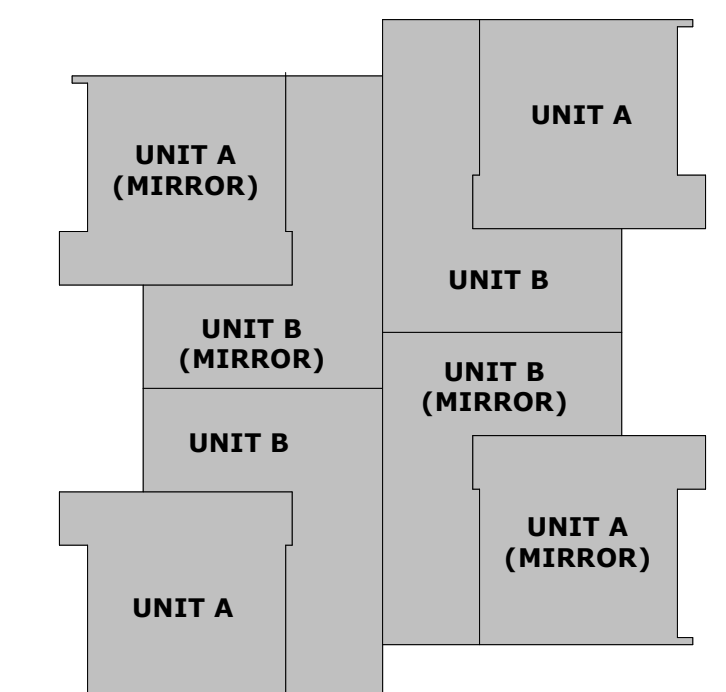
OCCUPANT LOAD				
DESCRIPTION	FUNCTION (USE) OF SPACE	AREA	Area per Occupant	OCCUPANT LOAD
R-2				
UNIT A	RESIDENTIAL (GROSS)	477 SF	200 SF	3
UNIT B	RESIDENTIAL (GROSS)	508 SF	200 SF	3
LEVEL 01 OCCUPANT LOAD		984 SF		6



5D LIFE SAFETY PLAN - LEVEL 01  
G100 1/4" = 1'-0"

LIFE SAFETY SYMBOLS

- 34" CLEAR OPENING WIDTH
- 2" CLEAR WIDTH PER OCCUPANT
- 170 ACTUAL OCCUPANT LOAD
- 75 PANIC HARDWARE ACCESS CONTROL DEVICE (E.G. CARD READER) REQUEST TO EXIT
- 34" CLEAR STAIR WIDTH
- 2" CLEAR WIDTH PER OCCUPANT
- 170 ACTUAL OCCUPANT LOAD
- 75 PANIC HARDWARE ACCESS CONTROL DEVICE (E.G. CARD READER) REQUEST TO EXIT
- TRAVEL DISTANCE SHOWN: 000' EXIT EGRESS DISTANCE EXIT EGRESS COMMON PATH
- TRAVEL DISTANCE SHOWN: 000' EXIT EGRESS DEAD END DISTANCE
- DIAGONAL DISTANCE: 14'-0" OVERALL DIAGONAL DISTANCE
- DISTANCE BETWEEN EXITS: 14'-0" EXIT REMOTENESS DISTANCE
- CR CARD READER
- Area Name 150 SF Per Occupant AREA
- ILLUMINATED EXIT SIGN
- FE FIRE EXTINGUISHER



**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING

615 South College Street, Suite 1600  
Charleston, SC 29402  
(704) 525-6350

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SOUTH CAROLINA  
LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC.  
No. 021206  
OFFICE OF AUTHORITY

STATE OF SOUTH CAROLINA  
DONALD E. BAUS, JR.  
Charleston, SC  
6617  
REGISTERED ARCHITECT

ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.24.2024

REVISIONS NO.	REASON	DATE

PROJECT TEAM  
PRINCIPAL IN CHARGE: D BAUS  
PROJECT MANAGER: S KERSCHEN  
DESIGN TEAM: Designer

PROJECT NAME: FMU - Village Apts - 1 BR Units  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-N092-SG

PROJECT NO: 4142052600

SHEET TITLE: LIFE SAFETY PLAN - LEVEL 01

SHEET NUMBER: G100

F  
E  
D  
C  
B  
A

**(X) SHEET KEYED NOTES**

- 01 REMOVE ALL EXISTING FLOORING, CLEAN SLAB OF ANY ADHESIVE RESIDUE, AND PATCH AND PREP FOR NEW FINISHES
- 02 REMOVE EXISTING LIGHTING AND PREP FOR NEW FIXTURES

**SHEET GENERAL NOTES**

- A. VERIFY EXISTING JOB SITE CONDITIONS PERTAINING TO THE DEMOLITION WORK INDICATED AND/OR IMPLIED ON THE DRAWINGS AND REPORT ANY DISCREPANCIES AND/OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY FIELD CONDITION IN CONFLICT WITH NEW WORK. DO NOT PROCEED UNTIL ARCHITECT EVALUATES CONCERNS IN QUESTION.
- B. THIS PLAN IS NOT A COMPLETE REPRESENTATION OF ALL EXISTING CONDITIONS. IT IS INTENDED TO SHOW THE EXTENT OF DEMOLITION. SEE KEYED SHEET NOTES, DEMOLITION DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION. EVERYTHING INDICATED FOR REMOVAL IS TO BE REMOVED IN ITS ENTIRETY, INCLUDING HIDDEN MATERIALS.
- C. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED DAILY FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND BE DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES. VERIFY SALVAGE MATERIALS WITH THE OWNER'S REPRESENTATIVE.
- D. REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS, AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
- E. EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES. WHERE FLOOR FINISHES ARE TO BE REMOVED, REMOVE FINISH LAYERS, ADHESIVES, ETC. SUBFLOORS SHALL BE THOROUGHLY CLEANED AND LEVELLED FOR THE INSTALLATION OF NEW FLOOR FINISHES. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR MOISTURE MITIGATION. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- F. PROVIDE SAFE MEANS OF EGRESS THROUGH AND AROUND THE BUILDING AND/OR SITE AT ALL TIMES AS WELL AS ACCESS TO ALL UTILITY CLOSETS AS REQUIRED. BUILDING FIRE ALARM, EMERGENCY LIGHTING, AND EXIT LIGHTS SHALL BE MAINTAINED AT ALL TIMES (BEFORE, DURING, AND AFTER DEMOLITION). REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- G. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- H. ALL SHUTDOWNS OF MECHANICAL, FIRE ALARM, AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER AND MAY OCCUR DURING NON-BUSINESS HOURS.
- I. CONTACT ARCHITECT IF EXTENT OF DEMOLITION IS UNCLEAR OR IS IN CONFLICT.
- J. COORDINATE WITH LIFE SAFETY PLANS WHERE SELECTIVE DEMOLITION OCCURS AT RATED PARTITIONS.
- K. WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE AND CURRENT BUILDING CODES AND ALL OTHER CODES THAT HAVE AUTHORITY OVER THIS PROJECT. SECURE REQUIRED PERMITS. PROVIDE NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING DEMOLITION.
- L. DEBRIS REMOVAL IS TO BE CONDUCTED IN A MANNER NOT TO INTERFERE WITH OCCUPIED SPACES.
- M. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE.
- N. PATCH AND REPAIR ANY DAMAGE TO FIRE PROOFING FOUND DURING DEMOLITION.
- O. PATCH AND FIRESTOP FLOOR SLAB PENETRATIONS. PROVIDE APPROPRIATE FIRESTOPPING CLOSURE/SEALANT AT ABANDONED FLOOR CORES AND PENETRATIONS.
- P. COORDINATE LIGHTING REQUIREMENTS WITH ELECTRICAL DRAWINGS TO MAINTAIN ADEQUATE LIGHTING TO MEET LIFE SAFETY REQUIREMENTS. LIGHT FIXTURES SHALL BE SUPPORTED FROM SLAB ABOVE.
- Q. THOROUGHLY CLEAN ALL SURFACES REMAINING DURING CONSTRUCTION AS REQUIRED TO PREPARE SPACE FOR NEW CONSTRUCTION. SURFACES THAT ARE ADJACENT TO SURFACES TO BE DEMOLISHED ARE TO BE PROTECTED AND RESTORED AS NECESSARY AS PART OF THE SCOPE OF WORK. RESTORATION SHALL EXTEND TO THE NEAREST BREAK IN THE SURFACE.
- R. ALL SPARE BREAKERS AVAILABLE AFTER COMPLETION OF THE PROJECT SHALL BE SWITCHED TO THE "OFF" POSITION.
- S. PRIOR TO AND DURING DEMOLITION, ALL ELEMENTS REQUESTED BY OWNER TO BE SALVAGED SHALL BE REMOVED AND DELIVERED TO AN AREA DESIGNATED BY THE OWNER OR TO A SECURE STORAGE UNDER THE CONTRACTOR'S CONTROL. ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE ITEMS FOR RELOCATION ARE PRESERVED INTACT.
- T. COORDINATE REMOVAL OF EQUIPMENT IN ROOMS PRIOR TO THE START OF DEMOLITION.



**ISSUE FOR CONSTRUCTION DOCUMENTS**

ISSUE DATE: 04.24.2024

REVISIONS: NO. REASON DATE

NO.	REASON	DATE

**PROJECT TEAM**

PRINCIPAL IN CHARGE: D BAUS  
PROJECT MANAGER: S KERSCHEN

**DESIGN TEAM**

Designer

**PROJECT NAME**

FMU - Village Apts - 1 BR Units  
4822 E Palmetto St  
Florence, SC 29506

**OS&E PROJECT NUMBER - HIS-N092-SG**

**PROJECT NO.**

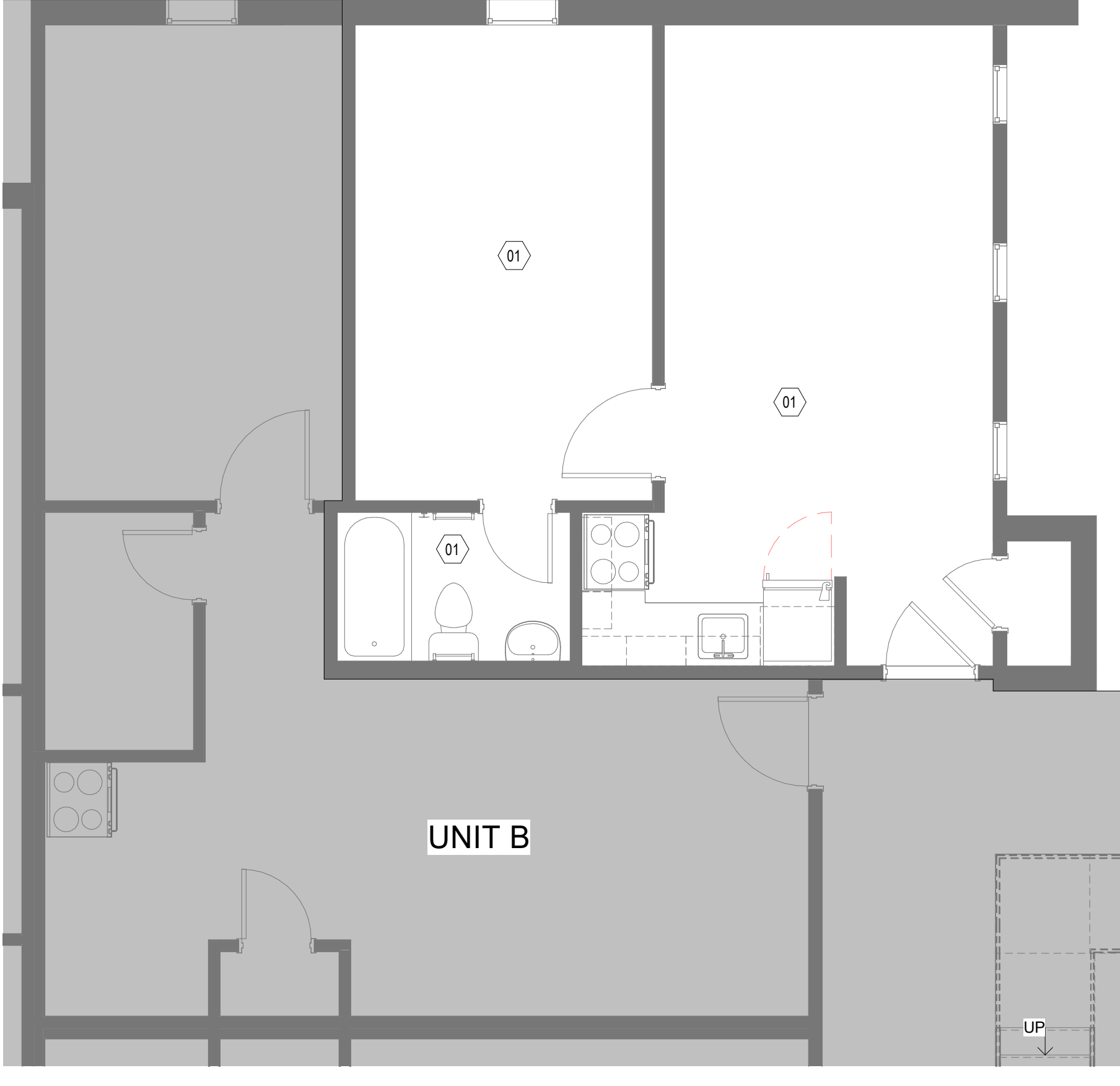
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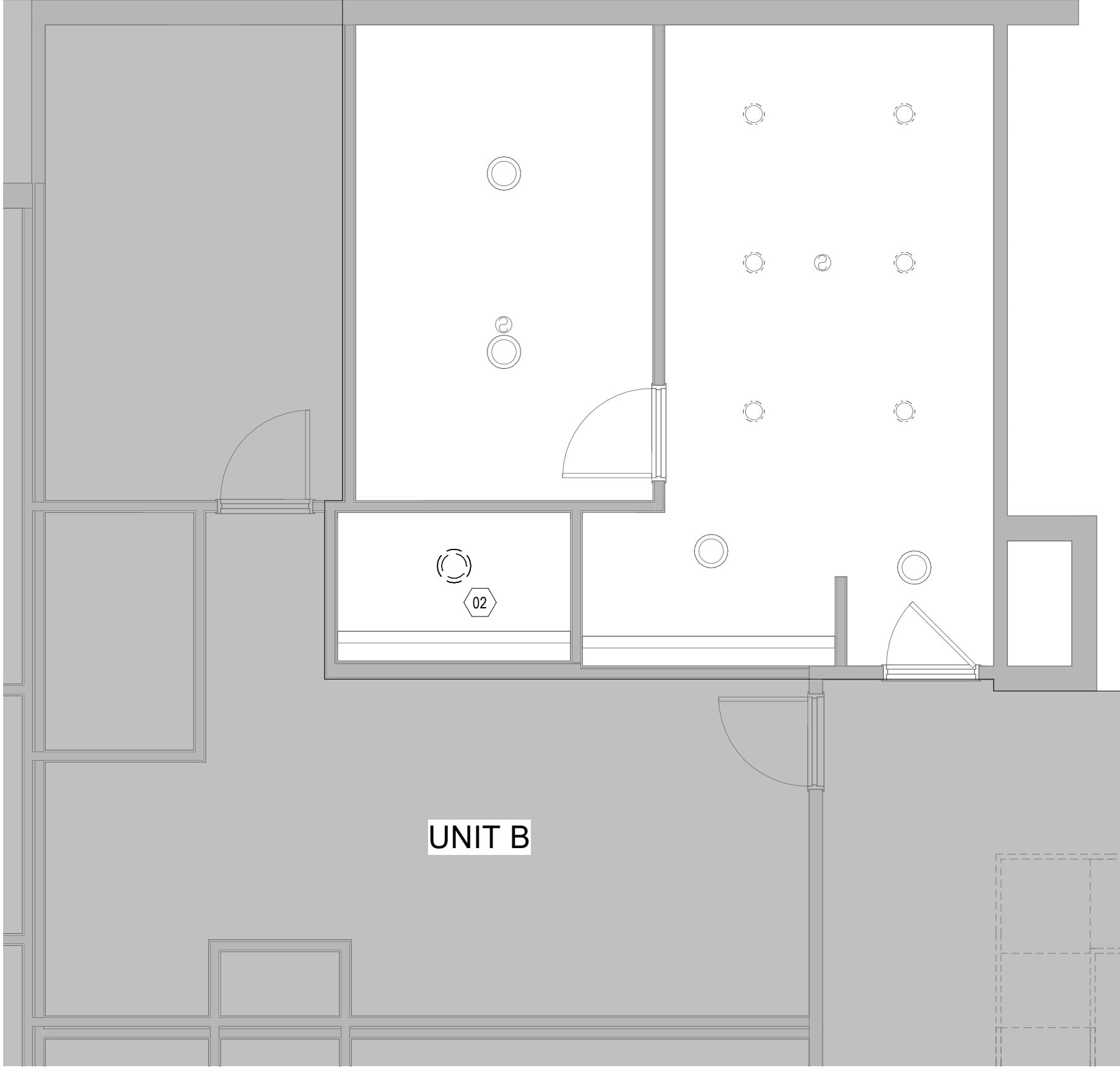
DEMOLITION PLAN - LEVEL 01 - 1BR UNIT A

**SHEET NUMBER**

AD111.A

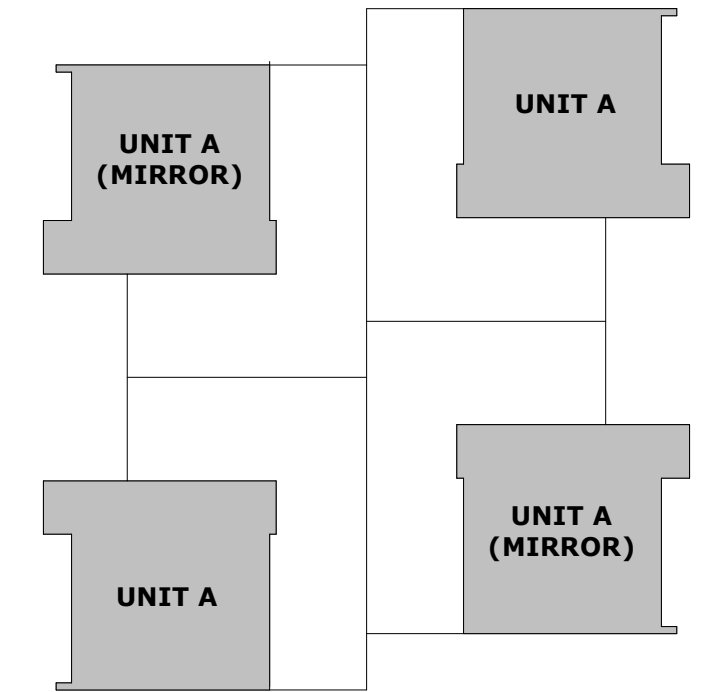


**1D DEMOLITION PLAN - LEVEL 01 - 1BR UNIT A**  
AD111.A 1/4" = 1'-0"



**4D DEMOLITION REFLECTED CEILING PLAN - LEVEL 01 - 1BR UNIT A**  
AD111.A 1/4" = 1'-0"

**KEY PLAN**

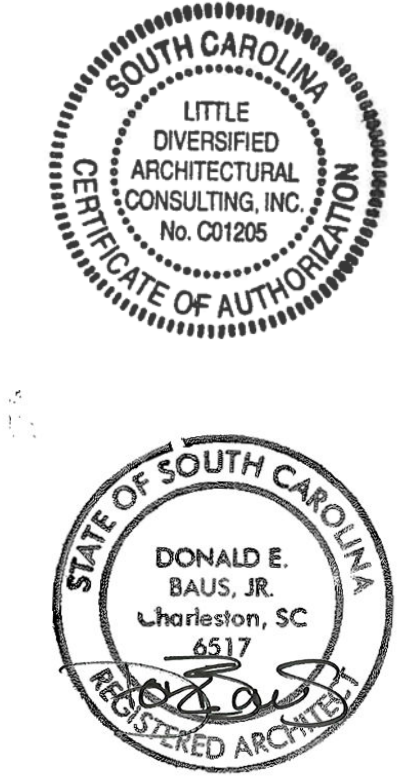


**SHEET KEYED NOTES**

- 01 REMOVE ALL EXISTING FLOORING, CLEAN SLAB OF ANY ADHESIVE RESIDUE, AND PATCH AND PREP FOR NEW FINISHES
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- D. REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS, AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
- E. EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES. WHERE FLOOR FINISHES ARE TO BE REMOVED, REMOVE FINISH LAYERS, ADHESIVES, ETC. SUBFLOORS SHALL BE THOROUGHLY CLEANED AND LEVELED FOR THE INSTALLATION OF NEW FLOOR FINISHES. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR MOISTURE MITIGATION. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- F. PROVIDE SAFE MEANS OF EGRESS THROUGH AND AROUND THE BUILDING AND/OR SITE AT ALL TIMES AS WELL AS ACCESS TO ALL UTILITY CLOSETS AS REQUIRED. BUILDING FIRE ALARM, EMERGENCY LIGHTING, AND EXIT LIGHTS SHALL BE MAINTAINED AT ALL TIMES (BEFORE, DURING, AND AFTER DEMOLITION). REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- G. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- H. ALL SHUTDOWNS OF MECHANICAL, FIRE ALARM, AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER AND MAY OCCUR DURING NON-BUSINESS HOURS.
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- J. COORDINATE WITH LIFE SAFETY PLANS WHERE SELECTIVE DEMOLITION OCCURS AT RATED PARTITIONS.
- K. WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE AND CURRENT BUILDING CODES AND ALL OTHER CODES THAT HAVE AUTHORITY OVER THIS PROJECT. SECURE REQUIRED PERMITS. PROVIDE NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING DEMOLITION.
- L. DEBRIS REMOVAL IS TO BE CONDUCTED IN A MANNER NOT TO INTERFERE WITH OCCUPIED SPACES.
- M. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE.
- N. PATCH AND REPAIR ANY DAMAGE TO FIRE PROOFING FOUND DURING DEMOLITION.
- O. PATCH AND FIRESTOP FLOOR SLAB PENETRATIONS. PROVIDE APPROPRIATE FIRESTOPPING CLOSURE/SEALANT AT ABANDONED FLOOR CORES AND PENETRATIONS.
- P. COORDINATE LIGHTING REQUIREMENTS WITH ELECTRICAL DRAWINGS TO MAINTAIN ADEQUATE LIGHTING TO MEET LIFE SAFETY REQUIREMENTS. LIGHT FIXTURES SHALL BE SUPPORTED FROM SLAB ABOVE.
- Q. THOROUGHLY CLEAN ALL SURFACES REMAINING DURING CONSTRUCTION AS REQUIRED TO PREPARE SPACE FOR NEW CONSTRUCTION. SURFACES THAT ARE ADJACENT TO SURFACES TO BE DEMOLISHED ARE TO BE PROTECTED AND RESTORED AS NECESSARY AS PART OF THE SCOPE OF WORK. RESTORATION SHALL EXTEND TO THE NEAREST BREAK IN THE SURFACE.
- R. ALL SPARE BREAKERS AVAILABLE AFTER COMPLETION OF THE PROJECT SHALL BE SWITCHED TO THE "OFF" POSITION.
- S. PRIOR TO AND DURING DEMOLITION, ALL ELEMENTS REQUESTED BY OWNER TO BE SALVAGED SHALL BE REMOVED AND DELIVERED TO AN AREA DESIGNATED BY THE OWNER OR TO A SECURE STORAGE UNDER THE CONTRACTOR'S CONTROL. ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE ITEMS FOR RELOCATION ARE PRESERVED INTACT.
- T. COORDINATE REMOVAL OF EQUIPMENT IN ROOMS PRIOR TO THE START OF DEMOLITION.



**ISSUE FOR CONSTRUCTION DOCUMENTS**

ISSUE DATE: 04.24.2024

REVISIONS NO.	REASON	DATE

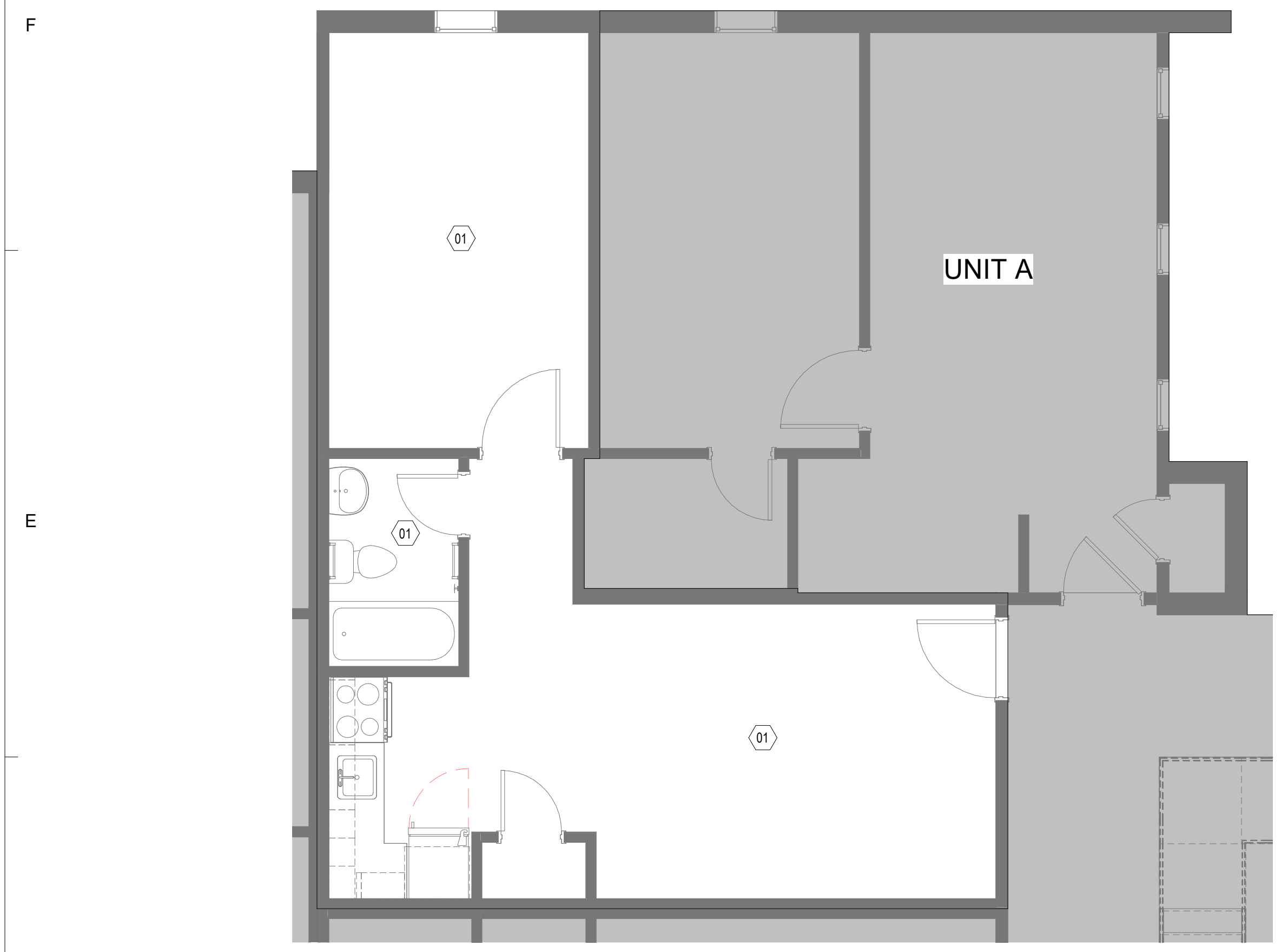
**PROJECT TEAM**  
 PRINCIPAL IN CHARGE: D BAUS  
 PROJECT MANAGER: S KERSCHEN  
 DESIGN TEAM: Designer

**PROJECT INFO**  
 FMU - Village Apts - 1 BR Units  
 4822 E Palmetto St  
 Florence, SC 29506  
 OSE PROJECT NUMBER - H18-N092-SG

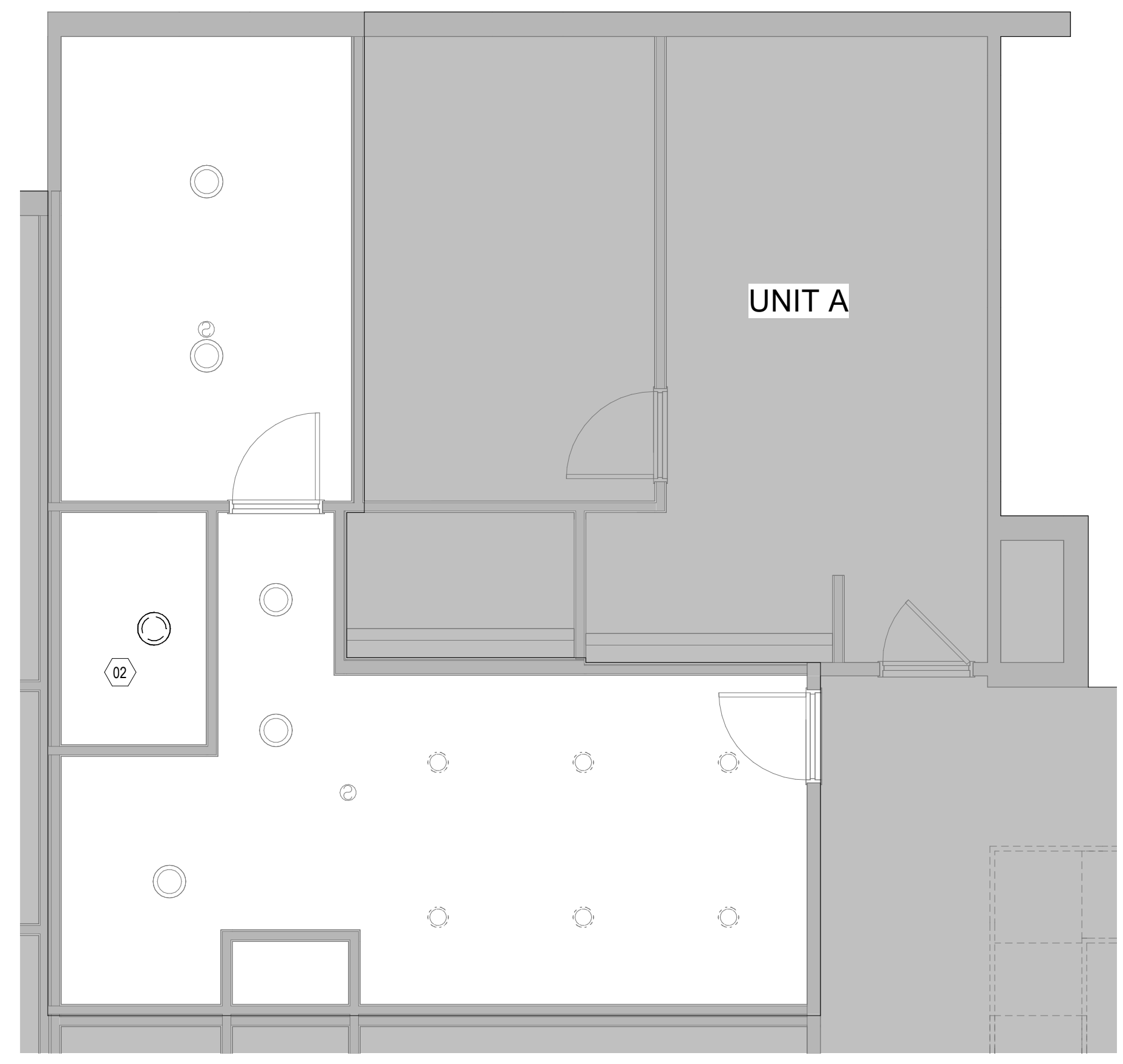
**PROJECT NO:** 4142052600

**SHEET TITLE:** DEMOLITION PLAN - LEVEL 01 - 1BR UNIT B

**SHEET NUMBER:** AD111.B

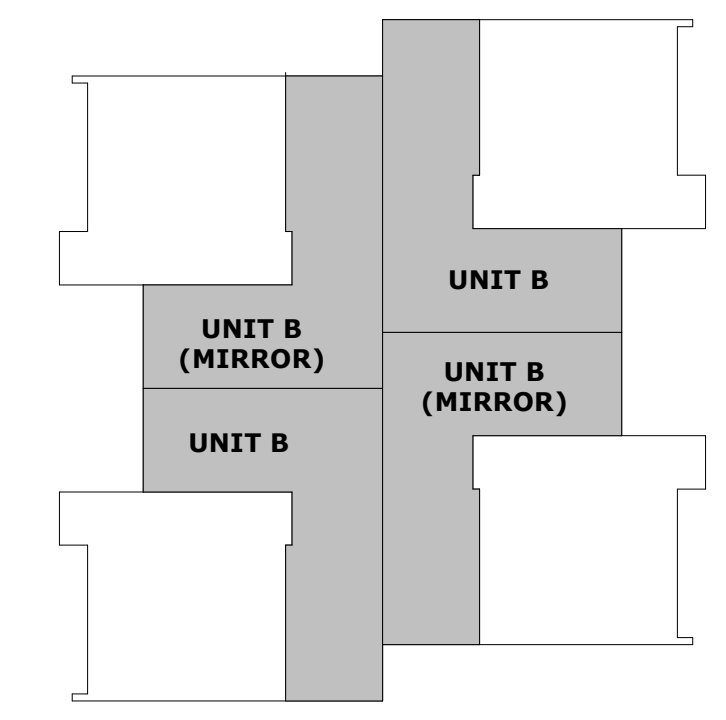


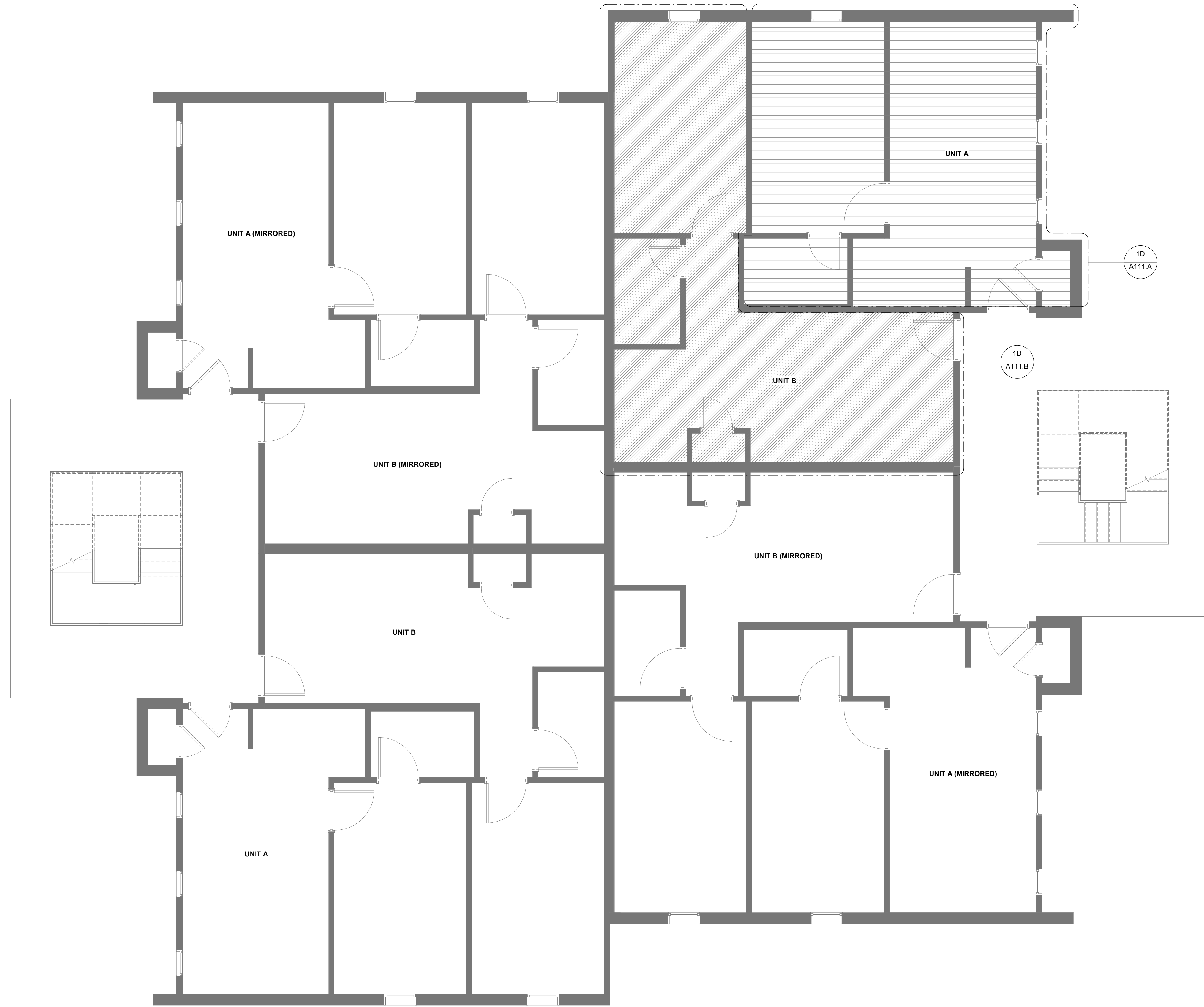
**1D DEMOLITION PLAN - LEVEL 01 - 1BR UNIT B**  
 AD111.B 1/4" = 1'-0"



**4D DEMOLITION REFLECTED CEILING PLAN - LEVEL 01 - 1BR UNIT B**  
 AD111.B 1/4" = 1'-0"

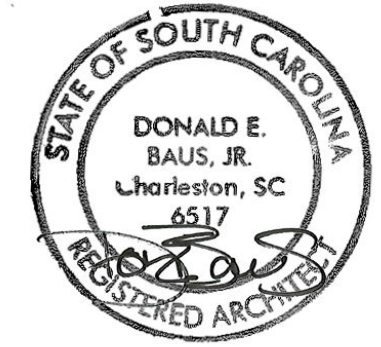
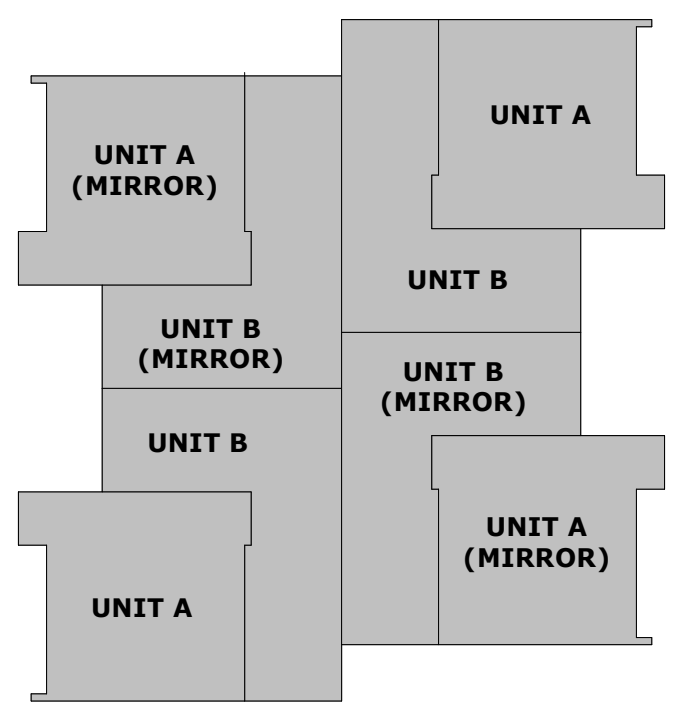
**KEY PLAN**





1A OVERALL PLAN - LEVEL 01  
A101 1/4" = 1'-0"

KEY PLAN



ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.24.2024

REVISIONS NO. REASON DATE

NO.	REASON	DATE

PROJECT TEAM  
PRINCIPAL IN CHARGE: D BAUS  
PROJECT MANAGER: S KERSCHEN  
DESIGN TEAM: Designer

PROJECT NAME:  
FMU - Village Apts - 1 BR Units  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-N092-SG

PROJECT NO:  
4142052600

SHEET TITLE:  
OVERALL PLAN - LEVEL 01

SHEET NUMBER:  
A101



**SHEET GENERAL NOTES**

- A. COORDINATE ALL INSTALLATION WITH MANUFACTURERS' RECOMMENDATIONS AND WITHOUT VOIDING ANY WARRANTIES AND GOVERNING CODES.
- B. PROVIDE TOOLED SEALANT JOINT AT DISIMILAR MATERIALS, SUCH AS MILLWORK OR DOOR FRAME AT A WALL.

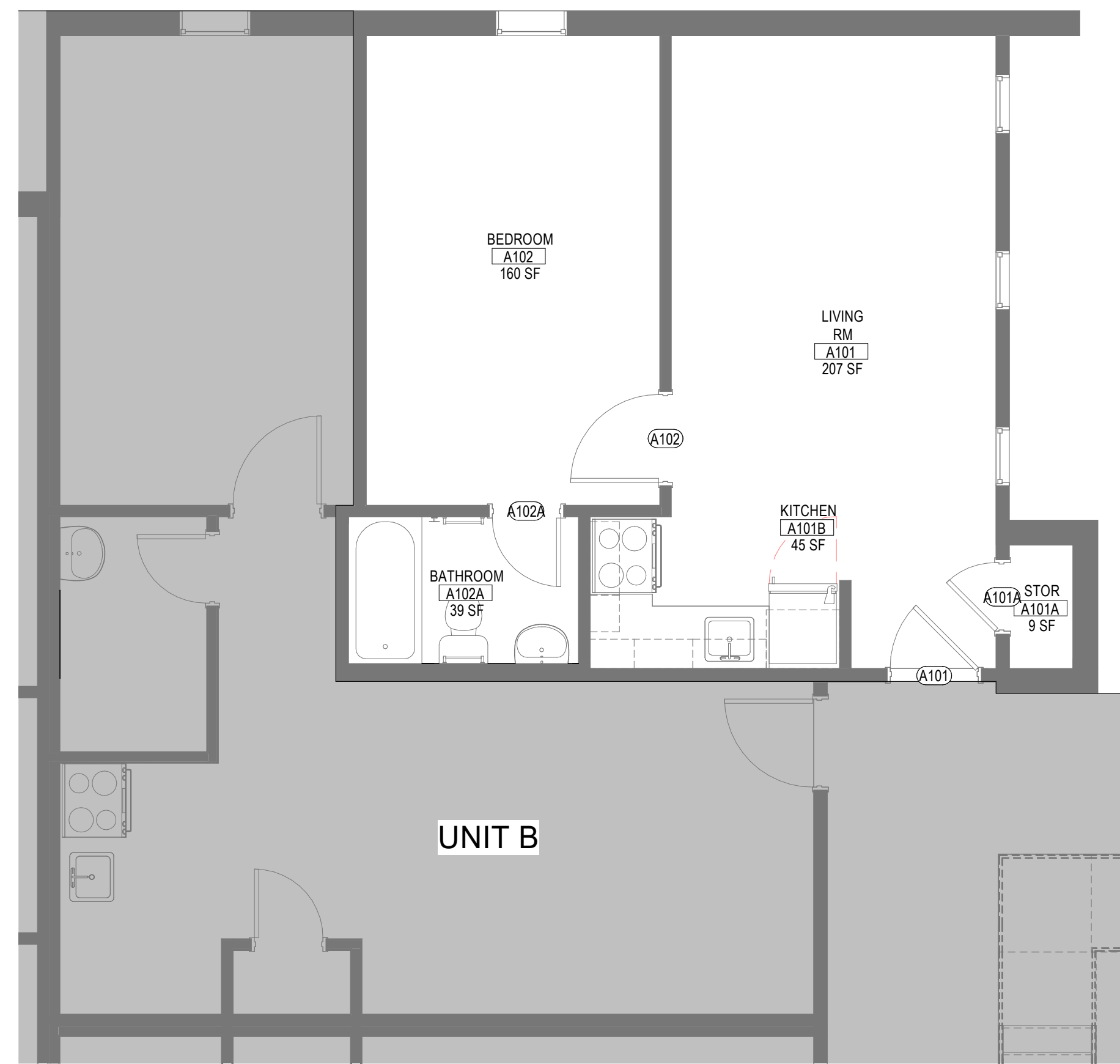
**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING

615 South College Street, Suite 1600  
Charlotte, NC 28202  
(704) 525-6350

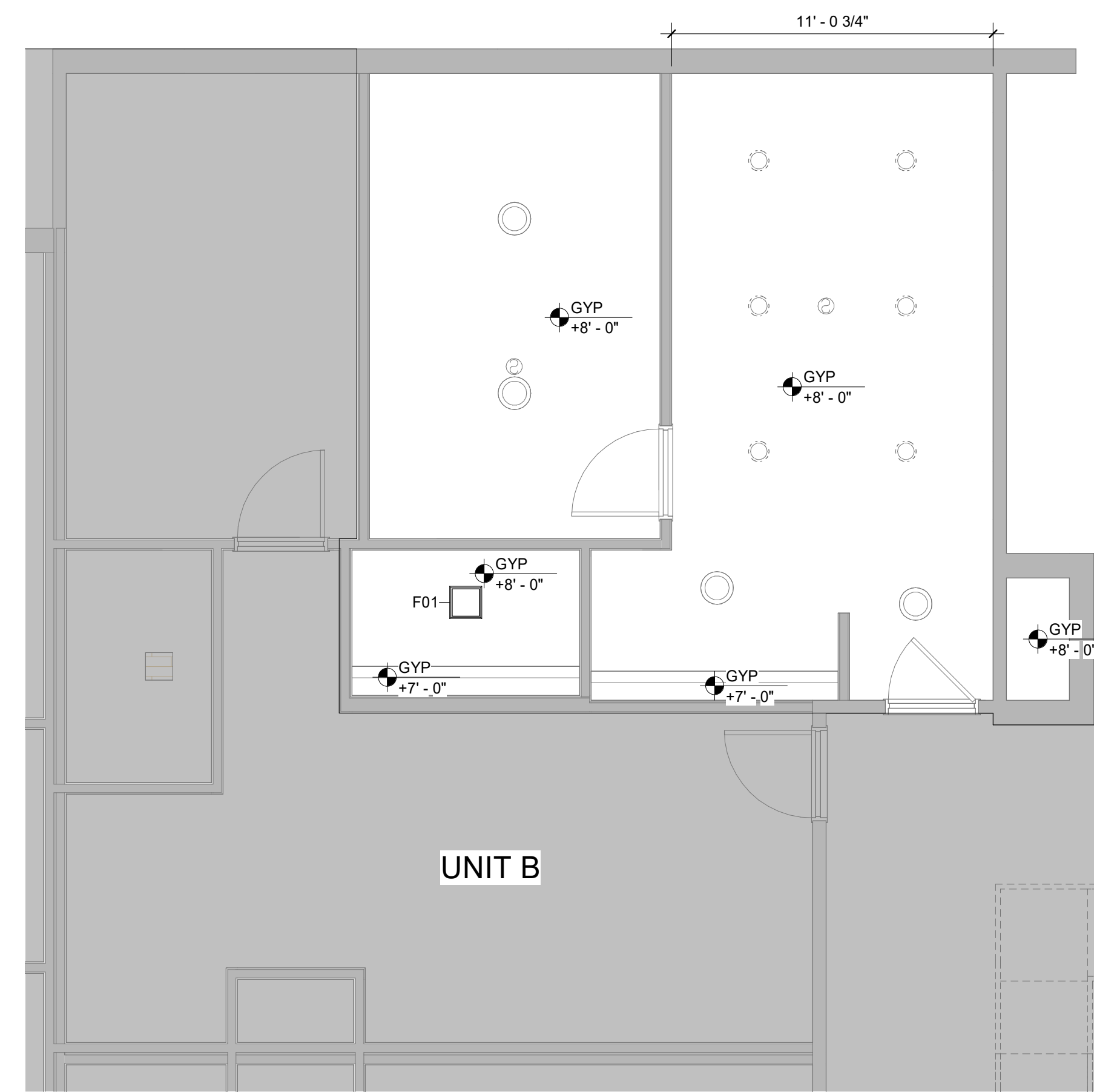
www.littleonline.com

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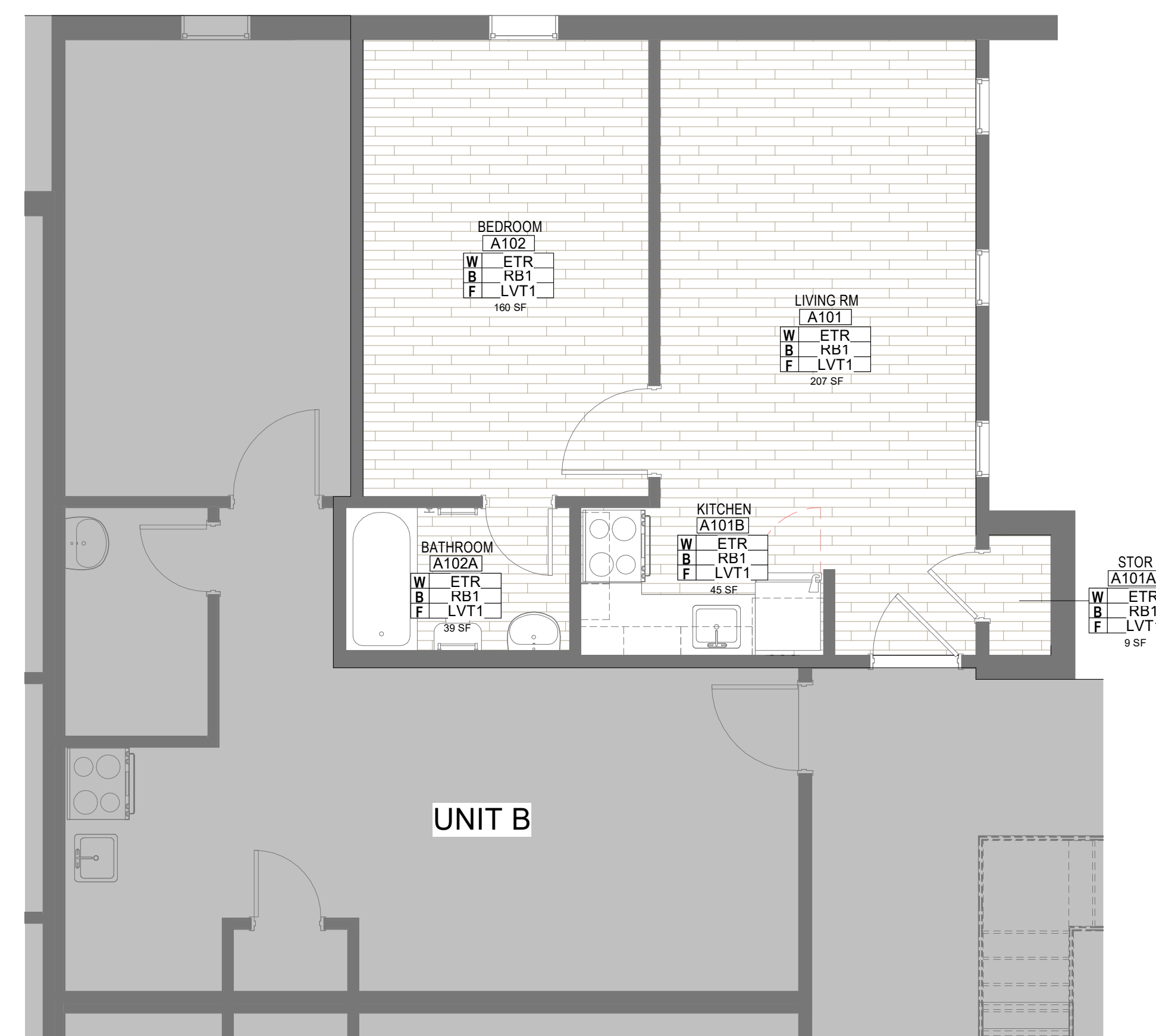
1D ENLARGED PLAN - LEVEL 01 - 1 BR UNIT A  
A111.A 1/4" = 1'-0" SHOWN FOR REFERENCE



4D REFLECTED CEILING PLAN - 1 BR UNIT A  
A111.A 1/4" = 1'-0"

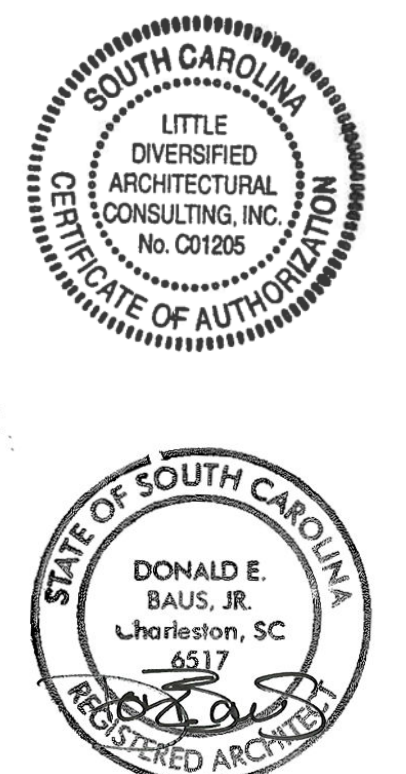
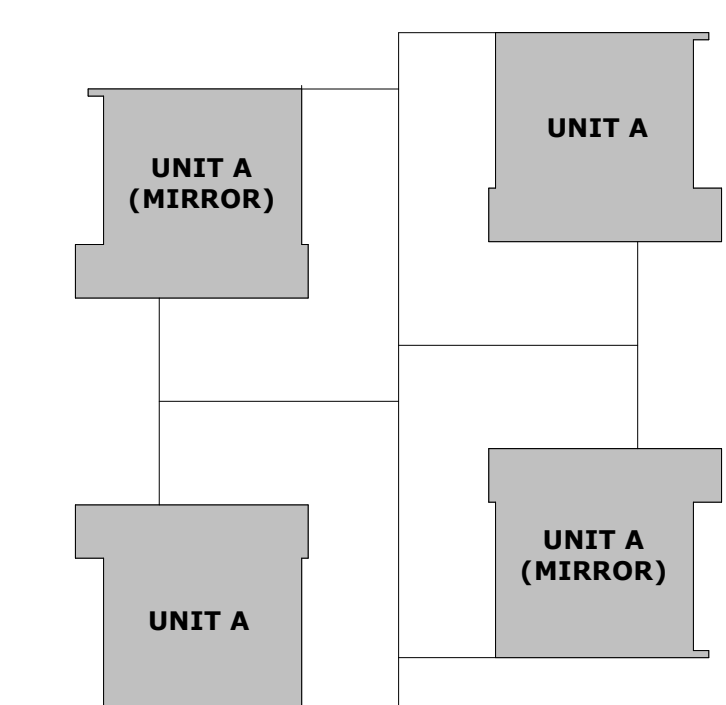
LIGHTING FIXTURE SCHEDULE			
Type Mark	Manufacturer	Model	Comments
F01	ARTIKA PRO	SKYLIGHT BREEZE INTEGRATED LED BATHROOM FAN	FAB-BRLU-C1

FINISH SCHEDULE								
FINISH TYPE & NUMBER	TYPE DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	FINISH	SIZE	LOCATION	COMMENT
BASE + TRIM								
RB1	RESILIENT BASE	TARKETT	6TH COVE BASE	TBD	--	6H		
FLOOR								
LVT1	LUXURY VINYL TILE	MANNINGTON COMMERCIAL	UPWARD 20	NATURAL OAK UPW20 3021	--	6" X 36"		PROVIDE MOISTURE MITIGATION UNDER FLOORING WHERE REQUIRED - ARDEX VB100 MOISTURE BARRIER



4A FINISH PLAN - LEVEL 01 - 1BR UNIT A  
A111.A 1/4" = 1'-0"

**KEY PLAN**



ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.24.2024

NO.	REASON	DATE

PROJECT TEAM  
PRINCIPAL IN CHARGE  
D BAUS  
PROJECT MANAGER  
S KERSCHEN  
DESIGN TEAM  
Designer

PROJECT NAME  
FMU - Village Apts - 1 BR Units  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-N092-SG

PROJECT NO.  
4142052600

SHEET TITLE  
ENLARGED FLOOR PLAN, CEILING PLAN, & FINISH PLAN - LEVEL 01 - 1BR UNIT A

SHEET NUMBER  
A111.A

**SHEET GENERAL NOTES**

- A. COORDINATE ALL INSTALLATION WITH MANUFACTURERS' RECOMMENDATIONS AND WITHOUT VOIDING ANY WARRANTIES AND GOVERNING CODES.
- B. PROVIDE TOOLED SEALANT JOINT AT DISIMILAR MATERIALS, SUCH AS MILLWORK OR DOOR FRAME AT A WALL.

**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING

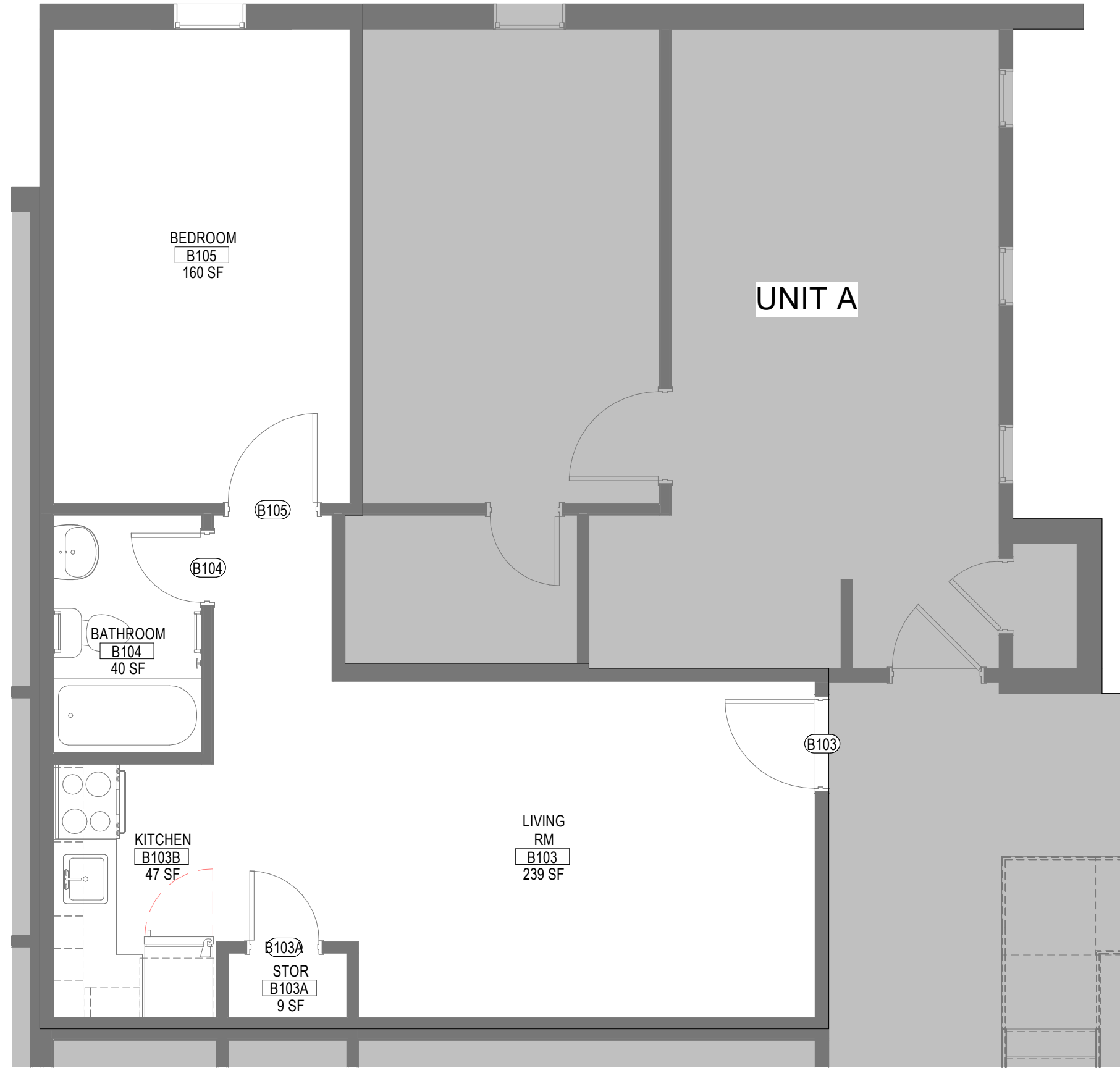
615 South College Street, Suite 1600  
Charleston, SC 29402  
(704) 525-6350

www.littleonline.com

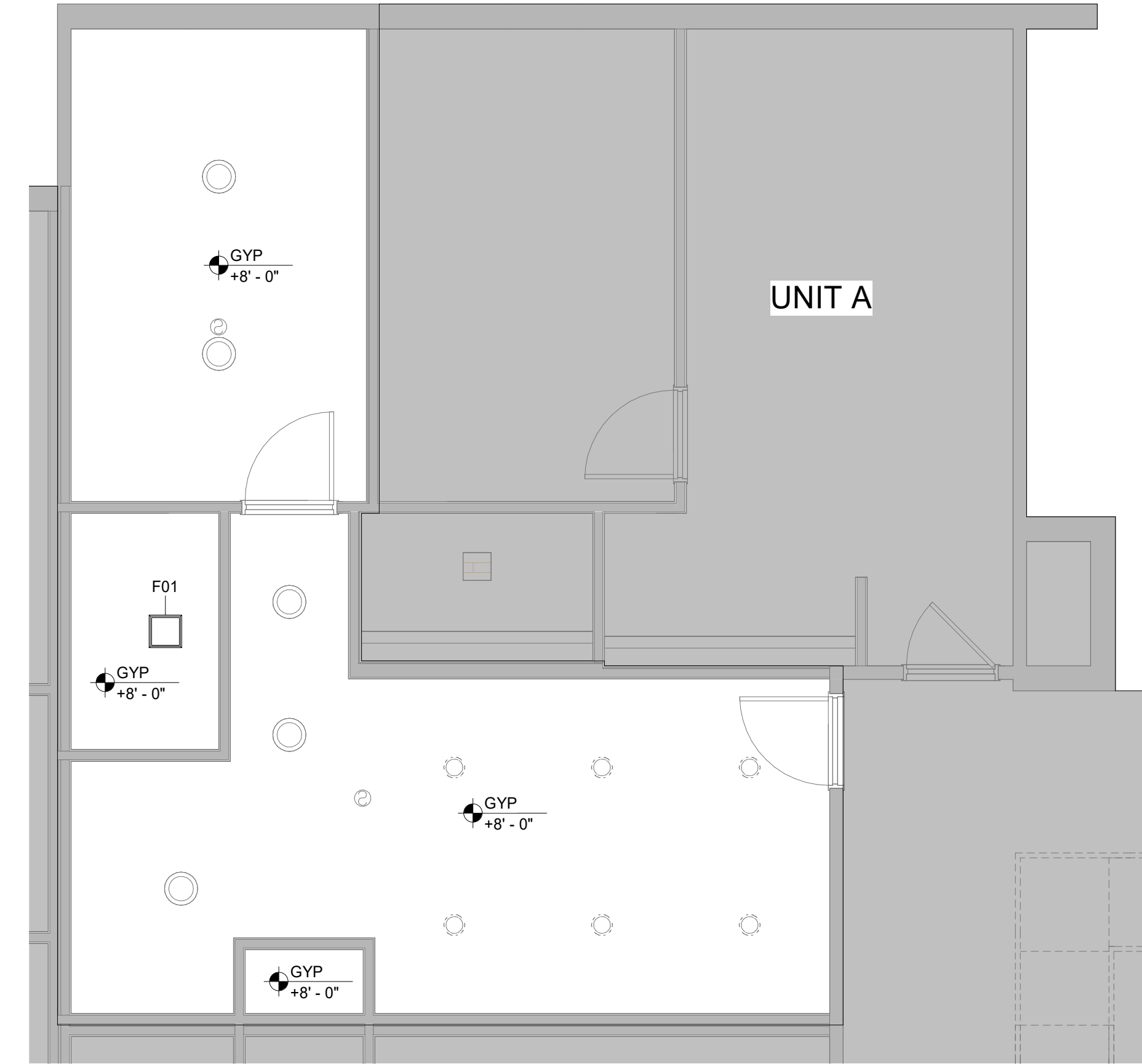
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F  
E  
D  
C  
B  
A



**1D ENLARGED PLAN - LEVEL 01 - 1 BR UNIT B**  
A111.B 1/4" = 1'-0" SHOWN FOR REFERENCE



**4D REFLECTED CEILING PLAN - 1 BR UNIT B**  
A111.B 1/4" = 1'-0"

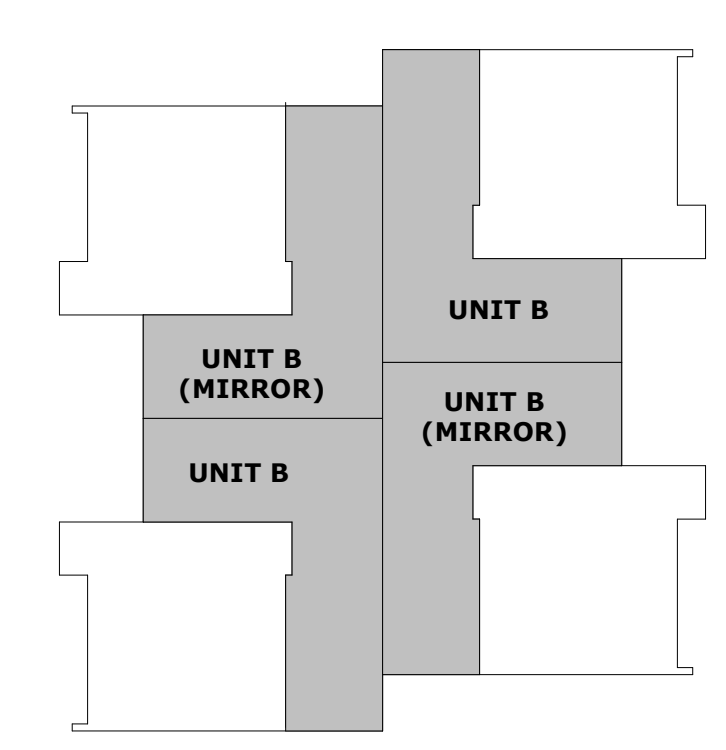
LIGHTING FIXTURE SCHEDULE			
Type Mark	Manufacturer	Model	Comments
F01	ARTIKA PRO	SKYLIGHT BREEZE INTEGRATED LED BATHROOM FAN	FAB-BRLLU-C1

FINISH SCHEDULE								
FINISH TYPE & NUMBER	TYPE DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	FINISH	SIZE	LOCATION	COMMENT
BASE + TRIM								
RB1	RESILIENT BASE	TARKETT	6"H COVE BASE	TBD	--	6"H		
FLOOR	LUXURY VINYL TILE	MANNINGTON COMMERCIAL	UPWARD 20	NATURAL OAK UPW20 3021	--	6" X 36"		PROVIDE MOISTURE MITIGATION UNDER FLOORING WHERE REQUIRED - ARDEX VB100 MOISTURE BARRIER



**4A FINISH PLAN - LEVEL 01 - 1BR UNIT B**  
A111.B 1/4" = 1'-0"

**KEY PLAN**



SOUTH CAROLINA  
LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING, INC. No. C21206  
STATE OF SOUTH CAROLINA  
DONALD E. BAUS, JR. Charleston, SC 29407  
REGISTERED ARCHITECT

**CONSTRUCTION DOCUMENTS**

ISSUE FOR  
04.24.2024

NO.	REASON	DATE

PROJECT TEAM  
PRINCIPAL IN CHARGE  
D BAUS  
PROJECT MANAGER  
S KERSCHEN  
DESIGN TEAM  
Designer

PROJECT NAME  
FMU - Village Apts - 1 BR Units  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-0092-SG

PROJECT NO.  
4142052600

SHEET TITLE  
ENLARGED FLOOR PLAN, CEILING PLAN, & FINISH PLAN - LEVEL 01 - 1BR UNIT B

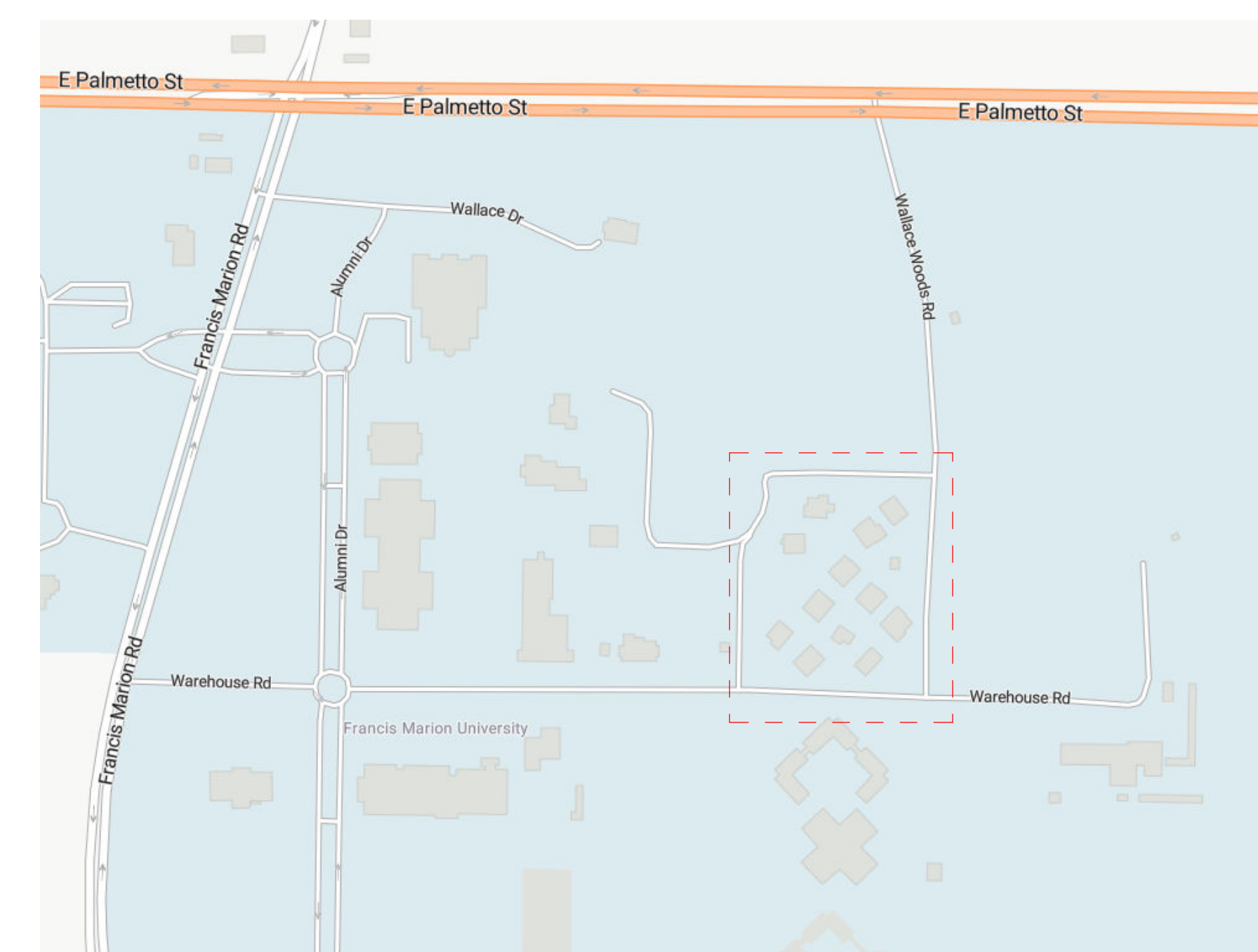
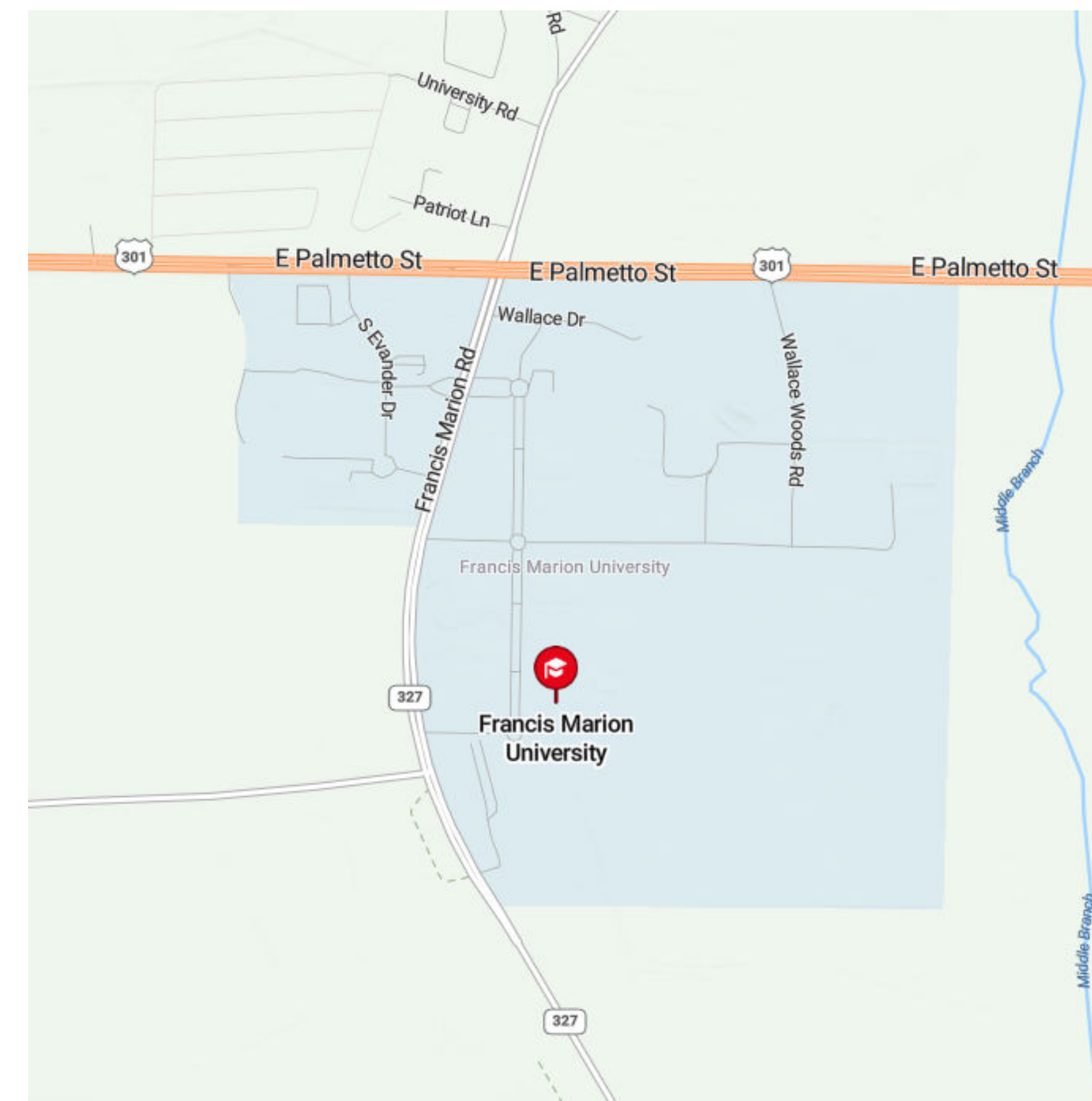
SHEET NUMBER  
A111.B

# FMU - Village Apts - Large 1 BR Units

OSE PROJECT NUMBER - H18-N092-SG

4822 E Palmetto St  
 Florence, SC 29506

**CONSTRUCTION DOCUMENTS - 04.24.2024**



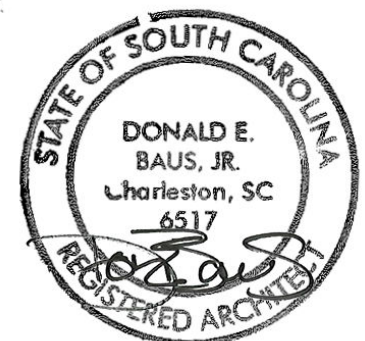
**LITTLE**  
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4900 O'Hear Avenue, Suite 100  
 North Charleston, SC 29405  
 (843) 212-9765

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ISSUE FOR  
**CONSTRUCTION DOCUMENTS**

ISSUE DATE  
 04.24.2024

REVISIONS

NO.	REASON	DATE

PROJECT TEAM  
 PRINCIPAL IN CHARGE  
 D BAUS  
 PROJECT MANAGER  
 S KERSCHEN  
 DESIGN TEAM  
 C TURNER

PROJECT NAME  
 FMU - Village Apts - Large 1  
 BR Units  
 4822 E Palmetto St  
 Florence, SC 29506

OSE PROJECT NUMBER -  
 H18-N092-SG

PROJECT NO.  
**4142052600**

SHEET TITLE  
**COVER SHEET**

SHEET NUMBER  
**CS**

**OWNER**  
 FRANCIS MARION  
 UNIVERSITY  
 4822 E. Palmetto St.  
 Florence, SC 29506

**OWNER'S REPRESENTATIVE**  
 FMU - VP for Facilities  
 + Construction  
 4822 E. Palmetto St  
 Florence, SC 29506  
 (843) 661-1101  
 Ralph Davis

**ARCHITECT**  
 Little Diversified  
 Architectural Consulting  
 4900 O'Hear Avenue, Suite 100  
 North Charleston, SC 29405  
 (843) 212-0354  
 Don Baus

ABBREVIATIONS

Table with 6 columns: Abbr., Abbreviated Phrase, Abbr., Abbreviated Phrase, Abbr., Abbreviated Phrase. Lists various construction terms like ACT, ADA, ADJ, AED, AFF, AL, ALT, AMC, APC, APPROX, ARCH, ARP, AWC, BBD, BD, BO, BOT, CL, CL, CAB, CC, CIR, CLG, CLOS, CLR, COL, CON, CON, CONT, CONTR, COORD, CPT, CRB, CT, CTR, D, DBL, DEG, DEMO, DET, DIA, DIM, DR, DS, DWG, DWN, DWR, EA, EL, ELEC, ELEV, EOS, EP, EQ, EQPT, EW, EWC, EXIST, EXP, EXT, FAAP, FACP, FBO, FDC, FE, FEC, FF, FIN, FLR, FLUOR, FO, etc.

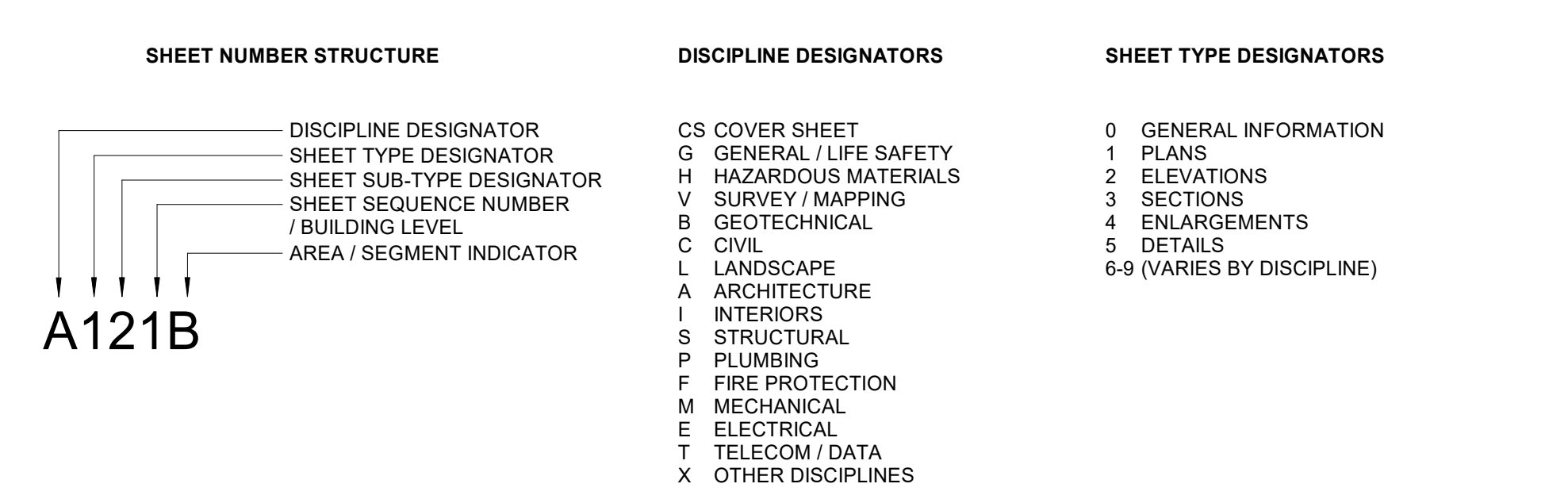
GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL, THE DRAWINGS AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
B. REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK.
C. COMPLIANCE WITH INDUSTRY STANDARDS, METHODS OF CONSTRUCTION, AND INSTALLATION AND ERECTION OF ELEMENTS AND MATERIALS ARE THE CONTRACTOR'S RESPONSIBILITY.
D. THE GC AND EACH SUBCONTRACTOR ARE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH THE ENTIRE SET OF THESE CONTRACT DOCUMENTS AND ARE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH OTHER TRADES. CORRECTIONS FOR UNCOORDINATED WORK WILL BE MADE AT THE CONTRACTOR'S EXPENSE.
E. WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
F. PROTECT AREAS ADJACENT TO WORK AREA FROM DAMAGE DURING CONSTRUCTION. PATCH AND REPAIR ALL DAMAGED AREAS TO MATCH ADJACENT FINISH AND ENSURE A SMOOTH SURFACE DO NOT SCALE DRAWINGS. ALL PARTITION LOCATIONS, DIMENSIONS, AND TYPES, AND ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN SUPERSEDES OTHER PLANS.
G. COORDINATE AND PROVIDE METAL OR RATED SOLID WOOD (FIRE TREATED) BLOCKING IN PARTITIONS AND CEILINGS FOR ALL WALL HUNG AND CEILING ATTACHED ITEMS INCLUDING MILLWORK, EQUIPMENT, AND FURNITURE. COORDINATE WITH OWNER AND VENDOR TO IDENTIFY LOCATIONS AND SIZES OF ITEMS PROVIDED/INSTALLED BY OTHERS.
H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE OF GYPSUM BOARD, UNLESS INDICATED OTHERWISE. DIMENSIONS MARKED "CLEAR," "HOLD," AND "MIN" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES. COORDINATE THICKNESS WITH FINISH SCHEDULE, SPECIFICATIONS, AND DETAILS.
I. COLUMN CENTER LINES, OR GRID LINES, ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
J. PROVIDE PARTITION TYPE WITH THE HIGHEST UL AND/OR ACOUSTICAL PERFORMANCE RATING WHERE MORE THAN ONE PARTITION TYPE IS INDICATED.
K. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
L. MATERIALS USED IN UL RATED ASSEMBLIES SHALL CONFORM TO REFERENCED STANDARDS.
M. STENCIL BOTH SIDES OF UL RATED PARTITIONS ABOVE SCHEDULED CEILING WITH REQUIRED PROTECTION TEXT.
N. FIRE STOP PENETRATIONS IN UL RATED ASSEMBLIES TO MAINTAIN/ACHIEVE LEVEL OF PROTECTION REQUIRED FOR ASSEMBLY TYPE. FIRE STOP ALONG PERIMETER OF RATED ASSEMBLIES WHERE VOIDS OCCUR. REFER TO UL DETAILS FOR MORE INFORMATION. GC SHALL NOTIFY THE ARCHITECT OF ANY PENETRATIONS TO RATED ASSEMBLIES NOT COVERED BY THE UL DETAILS PROVIDED IN THIS DRAWING SET AND PROVIDE DETAILS FOR ARCHITECT REVIEW PRIOR TO PROCEEDING WITH WORK.
O. PROVIDE FIRE EXTINGUISHER CABINETS, SMOKE DETECTORS AND ALL OTHER LIFE SAFETY DEVICES AS REQUIRED BY CODE. PROVIDE DRAWING SHOWING LOCATION OF DEVICES FOR REVIEW PRIOR TO FRAMING OF WALLS. DO NOT PLACE IN FIRE RATED PARTITIONS.
P. PROVIDE HOT AND COLD WATER LINES, SOIL, VENT LINES AND PRESSURE AND SHUTOFF VALVES AS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING CODES FOR PLUMBING FIXTURES.
Q. COORDINATE SCHEDULE FOR TELEPHONE, DATA, SECURITY, AND AUDIO VISUAL INSTALLATIONS WITH TENANT AND OWNER.

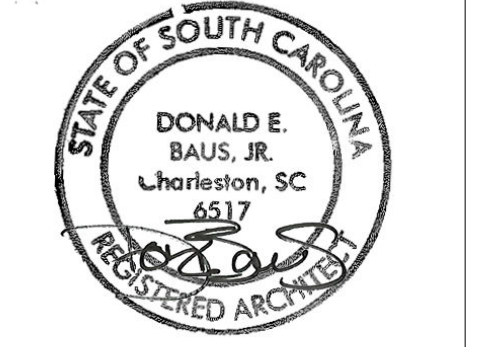
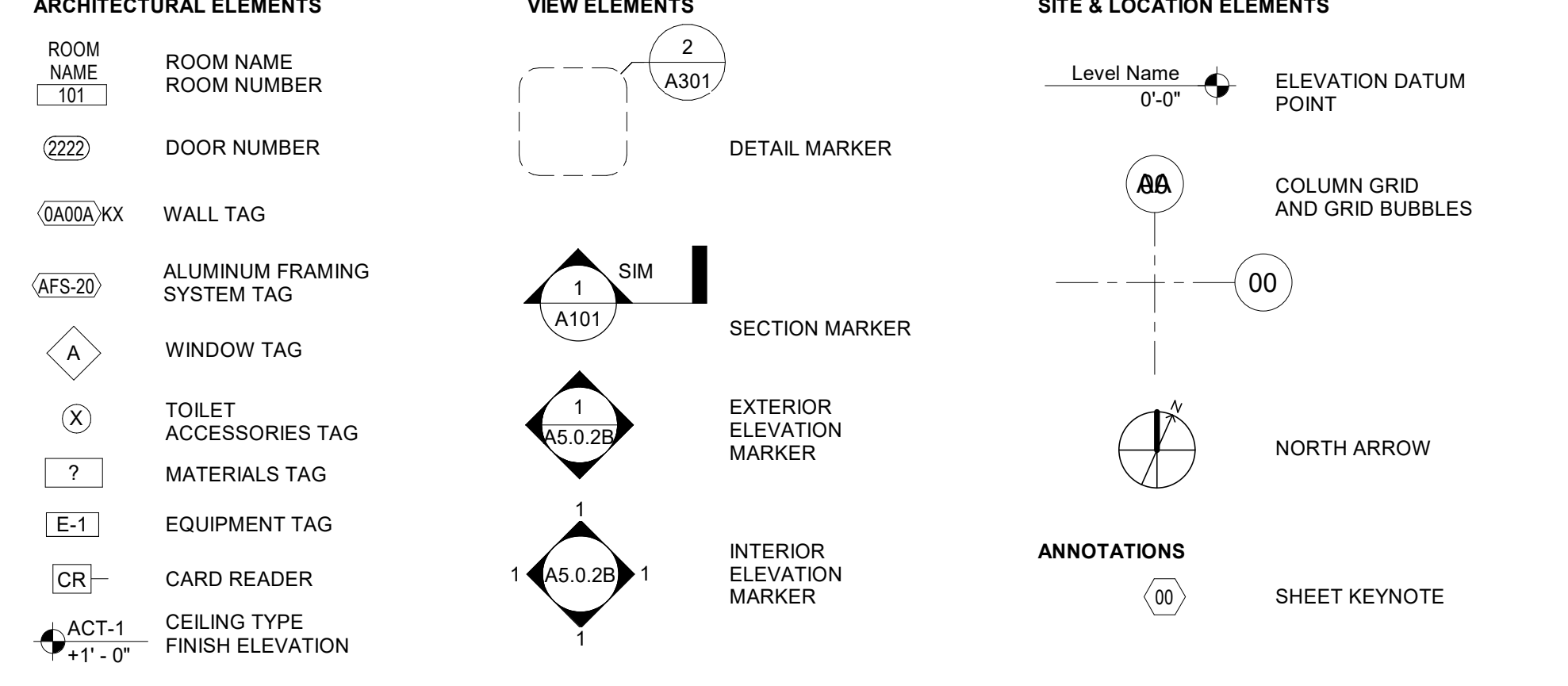
SHEET INDEX

Table with 2 columns: SHEET NUMBER, SHEET NAME. Lists sheets 00 through 111, including COVER SHEET, GENERAL INFORMATION, ARCHITECTURE, and DEMOLITION PLAN.

SHEET NUMBERING LEGEND



SYMBOLS



ISSUE FOR CONSTRUCTION DOCUMENTS

Table with 2 columns: ISSUE DATE, REVISIONS. Shows issue date 04.24.2024 and a table for revisions with columns NO., REASON, DATE.

Table with 2 columns: PROJECT TEAM, DESIGN TEAM. Lists D BAUS as Principal in Charge and S KERSCHEN as Project Manager. Design team includes C TURNER.

PROJECT NO. 4142052600  
SHEET TITLE GENERAL INFORMATION AND SHEET INDEX

PROJECT NAME FMU - Village Apts - Large 1 BR Units  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-N082-SG



### Code Summary

**Project Name:** Francis Marion University - Village Apartments Interior Renovation  
**Address:** 4822 E Palmetto St. Florence, SC 29506  
**Owner:** Francis Marion University  
**Owner Contact:** Ralph Davis - VP for Facilities + Construction  
 4822 E. Palmetto St. Florence, SC 29506  
 (843) 661-1101

**Owned By:**  City / County  Private  State  
**Authority Having Jurisdiction (AHJ):**  City \_\_\_\_\_  
 County \_\_\_\_\_  
 State \_\_\_\_\_

**Project Summary:**  
 New Construction  Renovation (Existing)  Uplift (First Generation)  
 Alteration  1  2  3

Proposed Use:  
 Description:

**Design Team:**

Primary	Firm	Name	Phone	Email
Designer	Little	Don Baus	843.212.9768	don.baus@littleonline.com
Architect	Little	Don Baus	843.212.9768	don.baus@littleonline.com
Civil	N/A			
Landscape	N/A			
Structural	N/A			
Plumbing	N/A			
Mechanical	N/A			
Electrical	N/A			
Fire Protection	N/A			
Fire Alarm	N/A			

**Applicable Codes:**

**Building:** 2021 South Carolina Building Code or the 2021 International Building Code with SC modifications '21  
**Fire:** 2021 South Carolina Fire Code or the 2021 International Fire Code with SC modifications '21  
**Plumbing:** 2021 South Carolina Plumbing Code or the 2021 International Plumbing Code with SC modifications '21  
**Mechanical:** South Carolina Mechanical Code or the 2021 International Mechanical Code with SC modifications '21  
**Fuel Gas:** South Carolina Fuel Gas Code or the 2021 International Fuel Gas Code with SC modifications  
**Electrical:** 2020 National Electrical Code (NFPA 70) with SC modifications  
**Energy:** 2009 International Energy Conservation Code (Energy Standard Act)  
**Accessibility**

**Building Data:**

**Bldg. Area:** Existing: No change.  
**Bldg. Stories:** Existing: No change.  
**Mezzanine:** N/A  
**Bldg. Height:** Existing: No change.  
**Construction Type:** Existing: No change.  
**Sprinklers:** Existing: Not sprinklered.  
**Standpipes:**  
**Fire District:**  
**Flood Zone:**

**Building Occupancy:**

**Occupancy:** Residential (R-2)  
**Mixed Occupancy:**  
**Notes:**  
**Allowed Height:**  
**Allowed Area:**



ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE  
 04.24.2024

REVISIONS

NO.	REASON	DATE

PROJECT TEAM  
 PRINCIPAL IN CHARGE  
 D BAUS  
 PROJECT MANAGER  
 S KERSCHEN

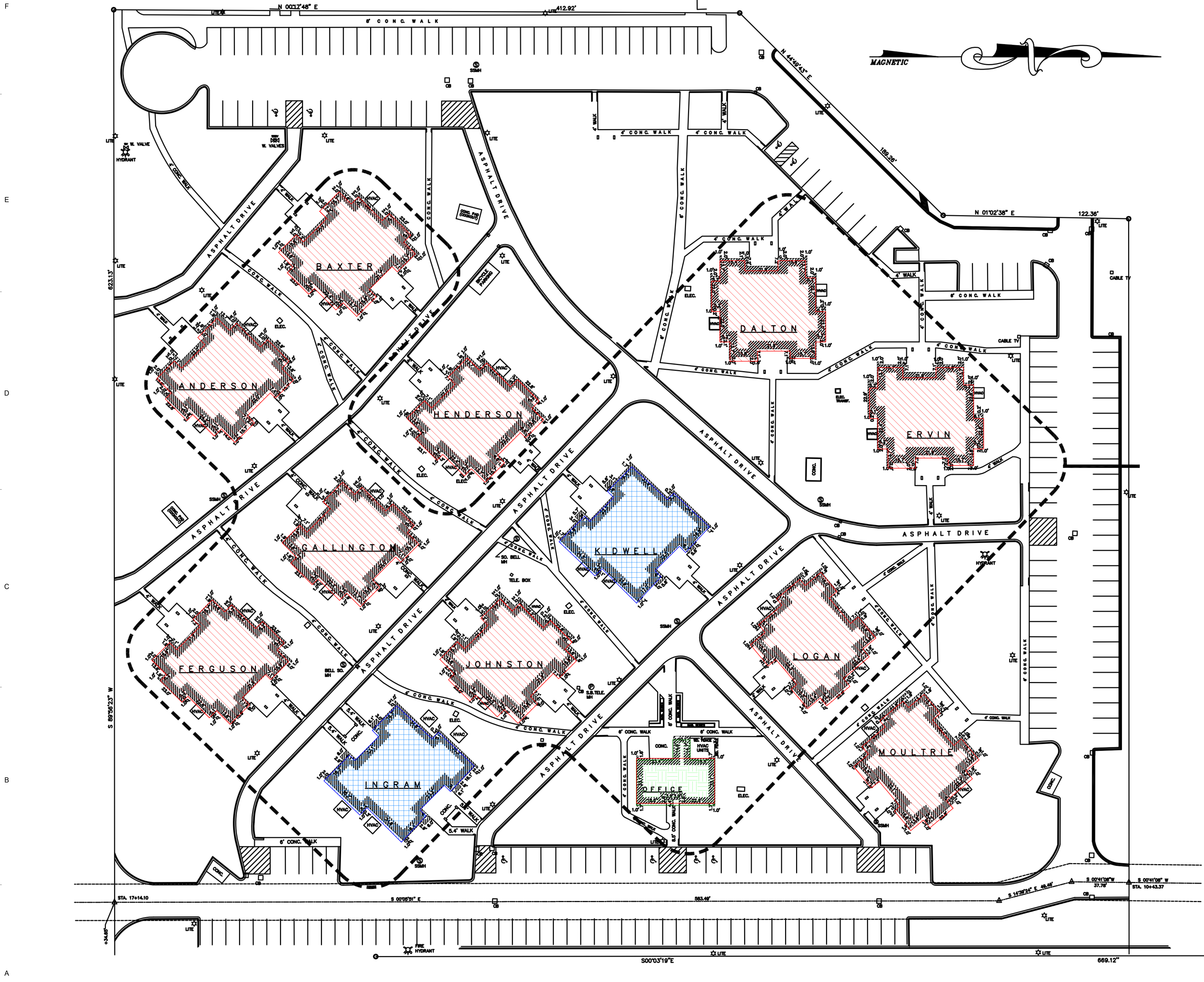
DESIGN TEAM  
 C TURNER

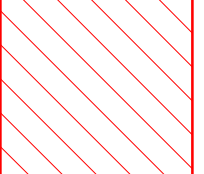
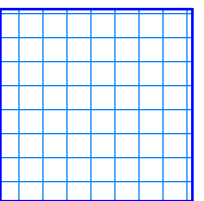
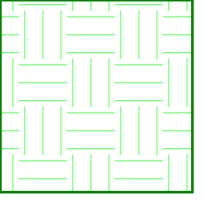
PROJECT NAME  
 FMU - Village Apts - Large 1  
 BR Units  
 4822 E Palmetto St  
 Florence, SC 29506  
 OSE PROJECT NUMBER -  
 H18-N082-SG

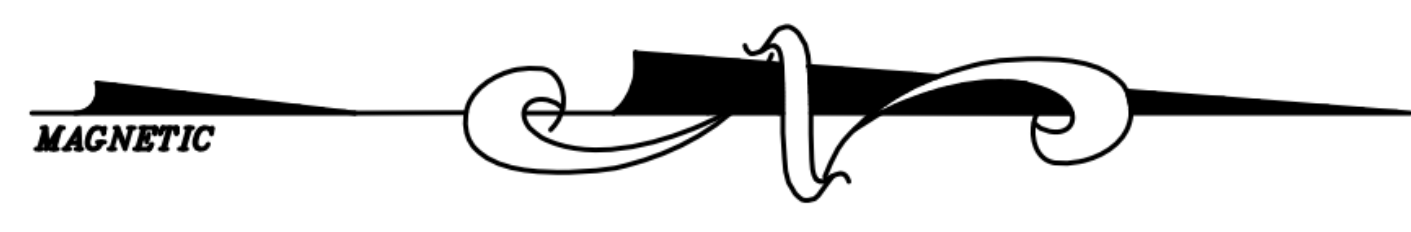
PROJECT NO.  
 4142052600

SHEET TITLE  
 BUILDING CODE SUMMARY

SHEET NUMBER  
 G002



-  4 Bedroom Buildings
-  1 Bedroom Buildings
-  1 Bedroom Large Buildings



1A SITE PLAN  
G003 NOT TO SCALE



ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.24.2024

REVISIONS:

NO.	REASON	DATE

PROJECT TEAM  
 PRINCIPAL IN CHARGE: D BAUS  
 PROJECT MANAGER: S KERSCHEN  
 DESIGN TEAM: C TURNER  
 PROJECT NAME: FMU - Village Apts - Large 1 BR Units  
 4822 E Palmetto St  
 Florence, SC 29506  
 OSE PROJECT NUMBER - H18-N082-SG

PROJECT NO: 4142052600

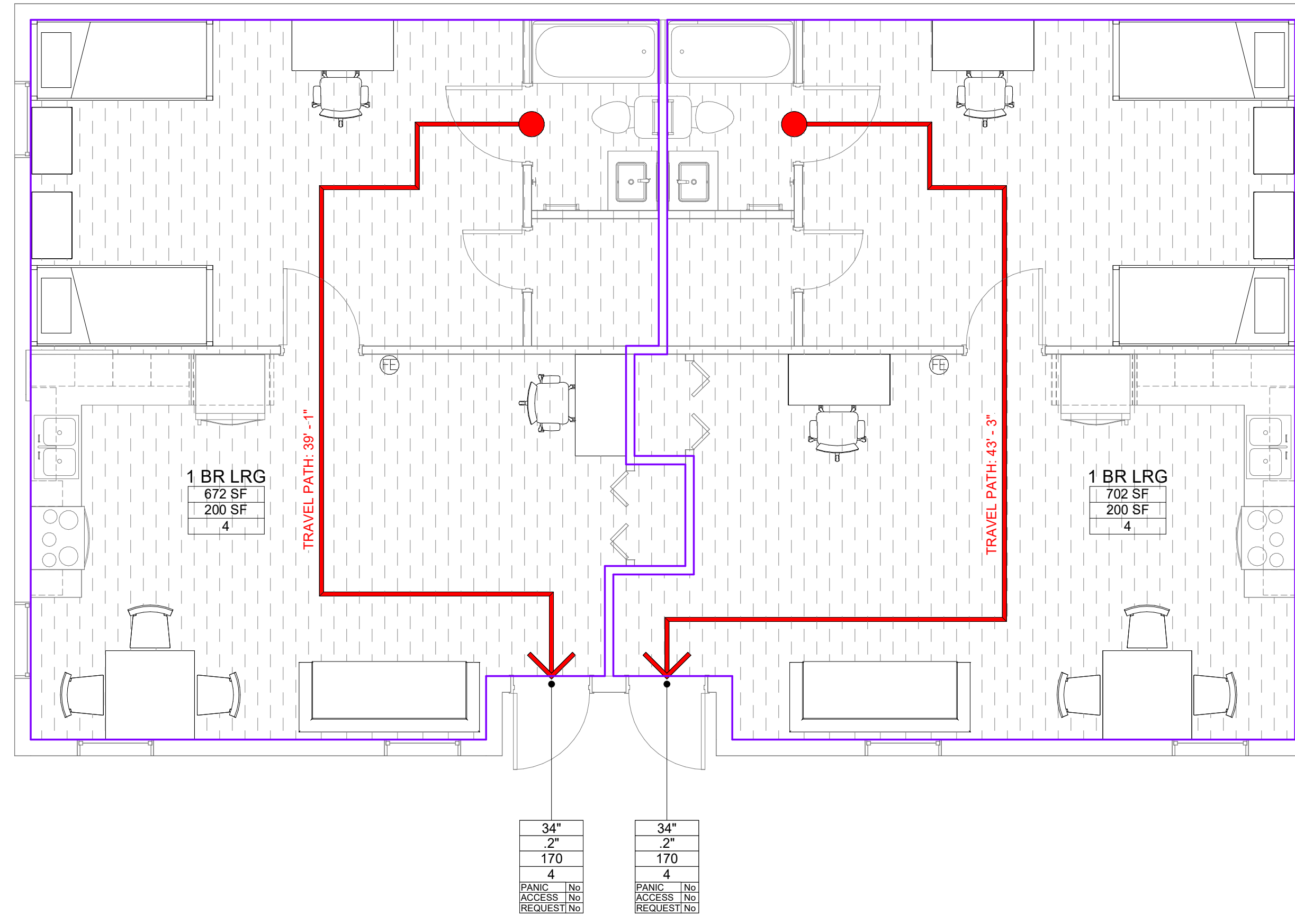
SHEET TITLE: SITE PLAN

SHEET NUMBER: G003

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MEANS OF EGRESS SIZING						
OCCUPANT LOAD	EGRESS CAPACITY FACTOR		EXIT WIDTHS REQUIRED		EXIT WIDTHS PROVIDED	
	STAIRS	DOORS	STAIRS	DOORS	STAIRS	DOORS
0	<varies>	<varies>	0.00"	0.00"		

OCCUPANT LOAD					
DESCRIPTION	FUNCTION (USE) OF SPACE	AREA	Area per Occupant	OCCUPANT LOAD	
B	BUSINESS AREA (GROSS)	BUSINESS AREA (GROSS)	100 SF	100 SF	1
R-2					
1 BR LRG	RESIDENTIAL (GROSS)	672 SF	200 SF	4	
1 BR LRG	RESIDENTIAL (GROSS)	702 SF	200 SF	4	
LEVEL 01 OCCUPANT LOAD		1474 SF		9	



3D LIFE SAFETY PLAN - LEVEL 01  
 G100 1/4" = 1'-0"

LIFE SAFETY SYMBOLS

- 34" CLEAR OPENING WIDTH
- 0.2" CLEAR WIDTH PER OCCUPANT
- 170 ACTUAL OCCUPANT LOAD
- 75 PANIC HARDWARE
- ACCESS CONTROL DEVICE (E.G. CARD READER) REQUEST TO EXIT
- 34" CLEAR STAIR WIDTH
- 0.2" CLEAR WIDTH PER OCCUPANT
- 170 ACTUAL OCCUPANT LOAD
- 75 ACTUAL OCCUPANT LOAD
- TRAVEL DISTANCE SHOWN: 000' EXIT EGRESS DISTANCE
- TRAVEL DISTANCE SHOWN: 000' EXIT EGRESS COMMON PATH
- TRAVEL DISTANCE SHOWN: 000' EXIT EGRESS DEAD END DISTANCE
- DIAGONAL DISTANCE: 14'-0" OVERALL DIAGONAL DISTANCE
- DISTANCE BETWEEN EXITS: 14'-0" EXIT REMOTENESS DISTANCE
- CR CARD READER
- Area Name 150 SF Per Occupant AREA
- ILLUMINATED EXIT SIGN



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ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 04.24.2024

REVISIONS NO.	REASON	DATE

PROJECT TEAM  
 PRINCIPAL IN CHARGE: D BAUS  
 PROJECT MANAGER: S KERSCHEN  
 DESIGN TEAM: C TURNER

PROJECT NAME: FMU - Village Apts - Large 1 BR Units  
 4822 E Palmetto St  
 Florence, SC 29506  
 OSE PROJECT NUMBER - H18-N082-SG

PROJECT NO: 4142052600

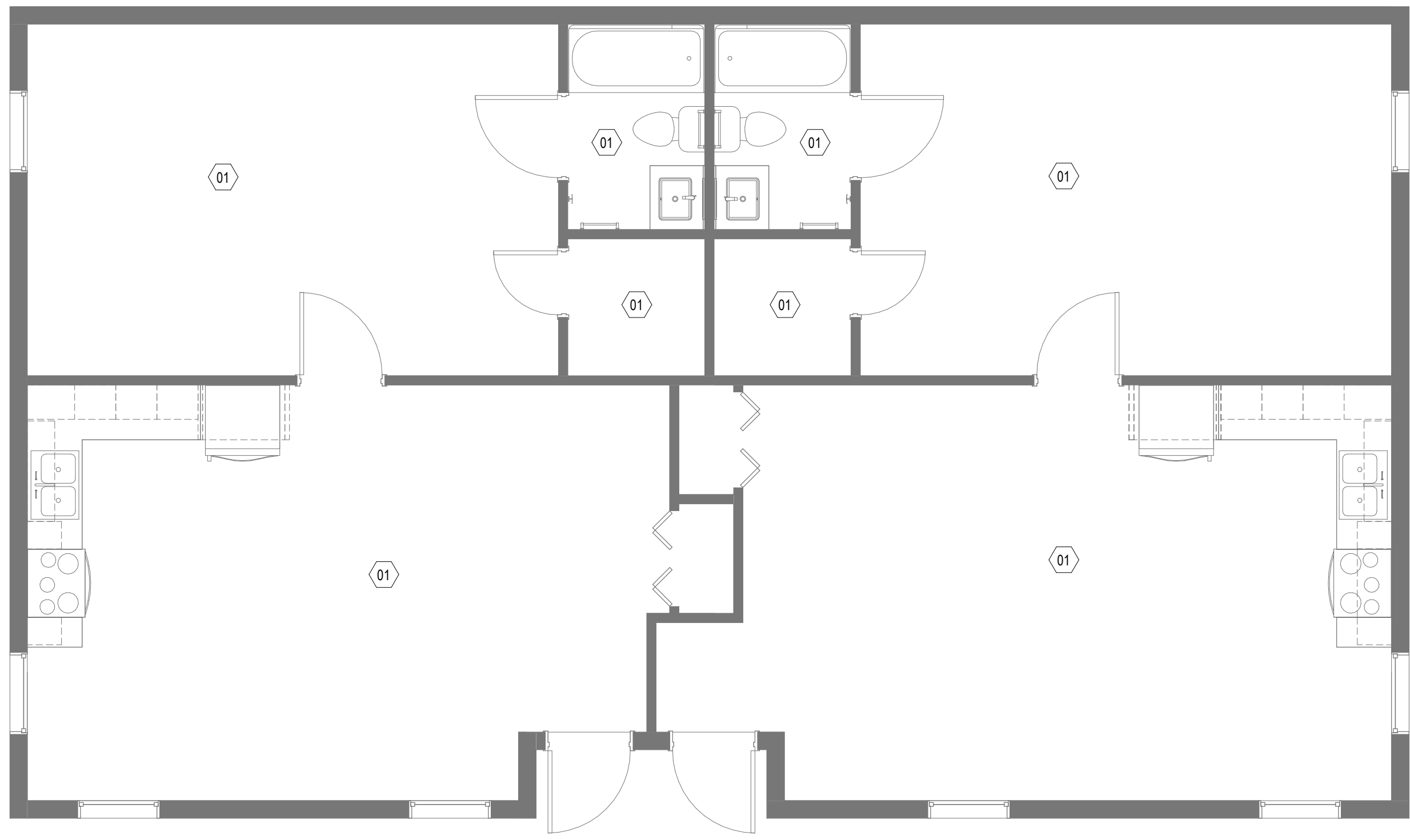
SHEET TITLE: LIFE SAFETY PLAN - LEVEL 01

SHEET NUMBER: G100

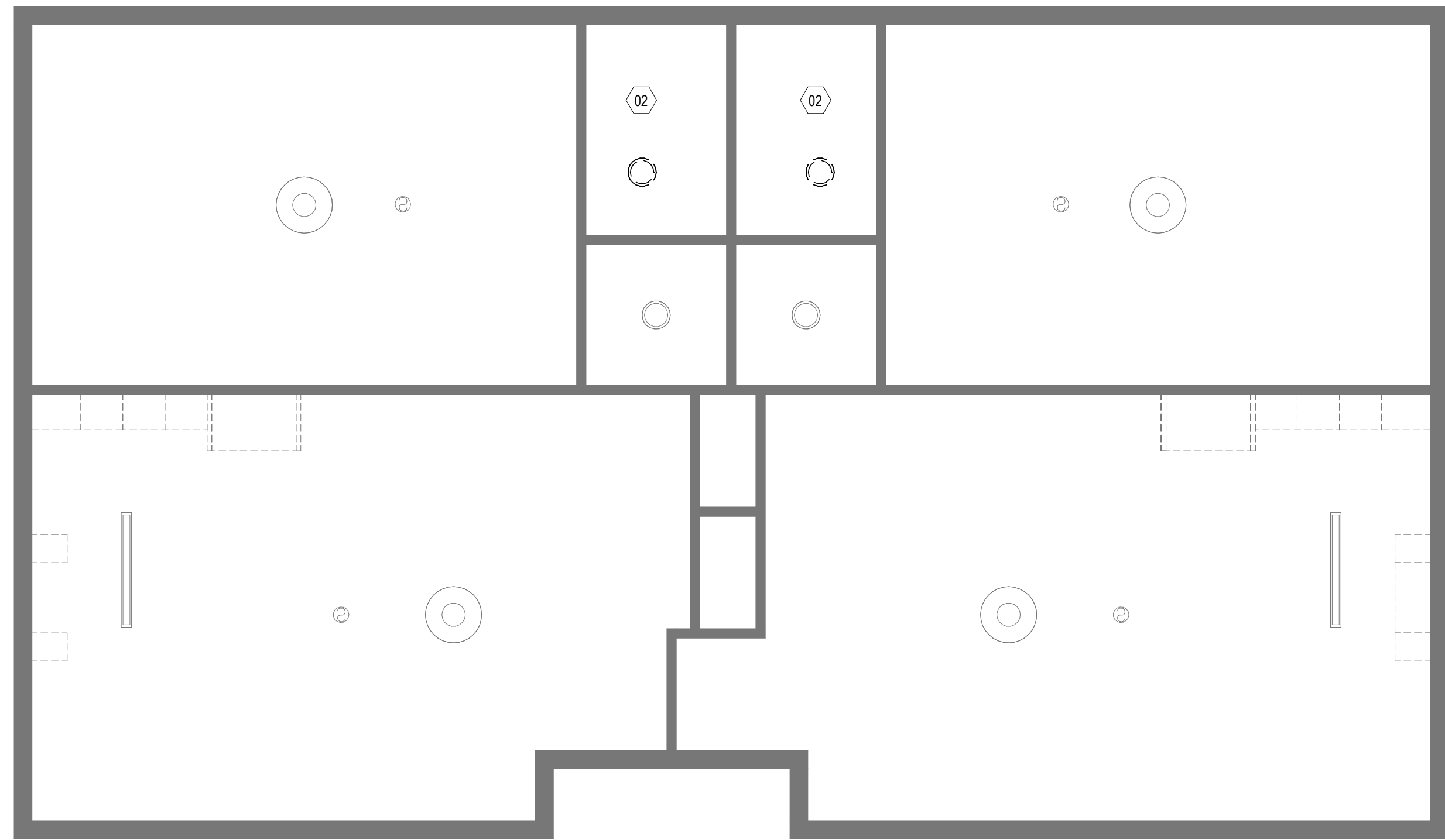
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F  
E  
D  
C  
B  
A



**1D** DEMOLITION PLAN - LEVEL 01  
 AD111 1/4" = 1'-0"



**4D** DEMOLITION REFLECTED CEILING PLAN - LEVEL 01  
 AD111 1/4" = 1'-0"

**(X) SHEET KEYED NOTES**

- 01 REMOVE ALL EXISTING FLOORING, CLEAN SLAB OF ANY ADHESIVE RESIDUE, AND PATCH AND PREP FOR NEW FINISHES.
- 02 REMOVE EXISTING LIGHTING AND PREP FOR NEW FIXTURES.

**SHEET GENERAL NOTES**

- A. VERIFY EXISTING JOB SITE CONDITIONS PERTAINING TO THE DEMOLITION WORK INDICATED AND/OR IMPLIED ON THE DRAWINGS AND REPORT ANY DISCREPANCIES AND/OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY FIELD CONDITION IN CONFLICT WITH NEW WORK. DO NOT PROCEED UNTIL ARCHITECT EVALUATES CONCERNS IN QUESTION.
- B. THIS PLAN IS NOT A COMPLETE REPRESENTATION OF ALL EXISTING CONDITIONS. IT IS INTENDED TO SHOW THE EXTENT OF DEMOLITION. SEE KEYED SHEET NOTES, DEMOLITION DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION. EVERYTHING INDICATED FOR REMOVAL IS TO BE REMOVED IN ITS ENTIRETY, INCLUDING HIDDEN MATERIALS.
- C. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED DAILY FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND BE DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES. VERIFY SALVAGE MATERIALS WITH THE OWNER'S REPRESENTATIVE.
- D. REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS, AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
- E. EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES. WHERE FLOOR FINISHES ARE TO BE REMOVED, REMOVE FINISH LAYERS, ADHESIVES, ETC. SUBFLOORS SHALL BE THOROUGHLY CLEANED AND LEVELED FOR THE INSTALLATION OF NEW FLOOR FINISHES. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR MOISTURE MITIGATION. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- F. PROVIDE SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND/OR SITE AT ALL TIMES AS WELL AS ACCESS TO ALL UTILITY CLOSETS AS REQUIRED. BUILDING FIRE ALARM, EMERGENCY LIGHTING, AND EXIT LIGHTS SHALL BE MAINTAINED AT ALL TIMES (BEFORE, DURING, AND AFTER DEMOLITION). REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- G. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- H. ALL SHUTDOWNS OF MECHANICAL, FIRE ALARM, AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER AND MAY OCCUR DURING NON-BUSINESS HOURS.
- I. CONTACT ARCHITECT IF EXTENT OF DEMOLITION IS UNCLEAR OR IS IN CONFLICT.
- J. COORDINATE WITH LIFE SAFETY PLANS WHERE SELECTIVE DEMOLITION OCCURS AT RATED PARTITIONS.
- K. WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE AND CURRENT BUILDING CODES AND ALL OTHER CODES THAT HAVE AUTHORITY OVER THIS PROJECT. SECURE REQUIRED PERMITS. PROVIDE NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING DEMOLITION.
- L. DEBRIS REMOVAL IS TO BE CONDUCTED IN A MANNER NOT TO INTERFERE WITH OCCUPIED SPACES.
- M. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE.
- N. PATCH AND REPAIR ANY DAMAGE TO FIRE PROOFING FOUND DURING DEMOLITION.
- O. PATCH AND FIRESTOP FLOOR SLAB PENETRATIONS. PROVIDE APPROPRIATE FIRESTOPPING CLOSURE/SEALANT AT ABANDONED FLOOR CORES AND PENETRATIONS.
- P. COORDINATE LIGHTING REQUIREMENTS WITH ELECTRICAL DRAWINGS TO MAINTAIN ADEQUATE LIGHTING TO MEET LIFE SAFETY REQUIREMENTS. LIGHT FIXTURES SHALL BE SUPPORTED FROM SLAB ABOVE.
- Q. THOROUGHLY CLEAN ALL SURFACES REMAINING DURING CONSTRUCTION AS REQUIRED TO PREPARE SPACE FOR NEW CONSTRUCTION. SURFACES THAT ARE ADJACENT TO SURFACES TO BE DEMOLISHED ARE TO BE PROTECTED AND RESTORED AS NECESSARY AS PART OF THE SCOPE OF WORK. RESTORATION SHALL EXTEND TO THE NEAREST BREAK IN THE SURFACE.
- R. ALL SPARE BREAKERS AVAILABLE AFTER COMPLETION OF THE PROJECT SHALL BE SWITCHED TO THE "OFF" POSITION.
- S. PRIOR TO AND DURING DEMOLITION, ALL ELEMENTS REQUESTED BY OWNER TO BE SALVAGED SHALL BE REMOVED AND DELIVERED TO AN AREA DESIGNATED BY THE OWNER OR TO A SECURE STORAGE UNDER THE CONTRACTOR'S CONTROL. ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE ITEMS FOR RELOCATION ARE PRESERVED INTACT.
- T. COORDINATE REMOVAL OF EQUIPMENT IN ROOMS PRIOR TO THE START OF DEMOLITION.

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PROJECT NO.  
 4142052600

SHEET TITLE  
 DEMOLITION PLAN - LEVEL  
 01

SHEET NUMBER  
 AD111



**SHEET GENERAL NOTES**

- A. COORDINATE ALL INSTALLATION WITH MANUFACTURERS' RECOMMENDATIONS AND WITHOUT VOIDING ANY WARRANTIES AND GOVERNING CODES.
- B. PROVIDE TOOLED SEALANT JOINT AT DISIMILAR MATERIALS, SUCH AS MILLWORK OR DOOR FRAME AT A WALL.

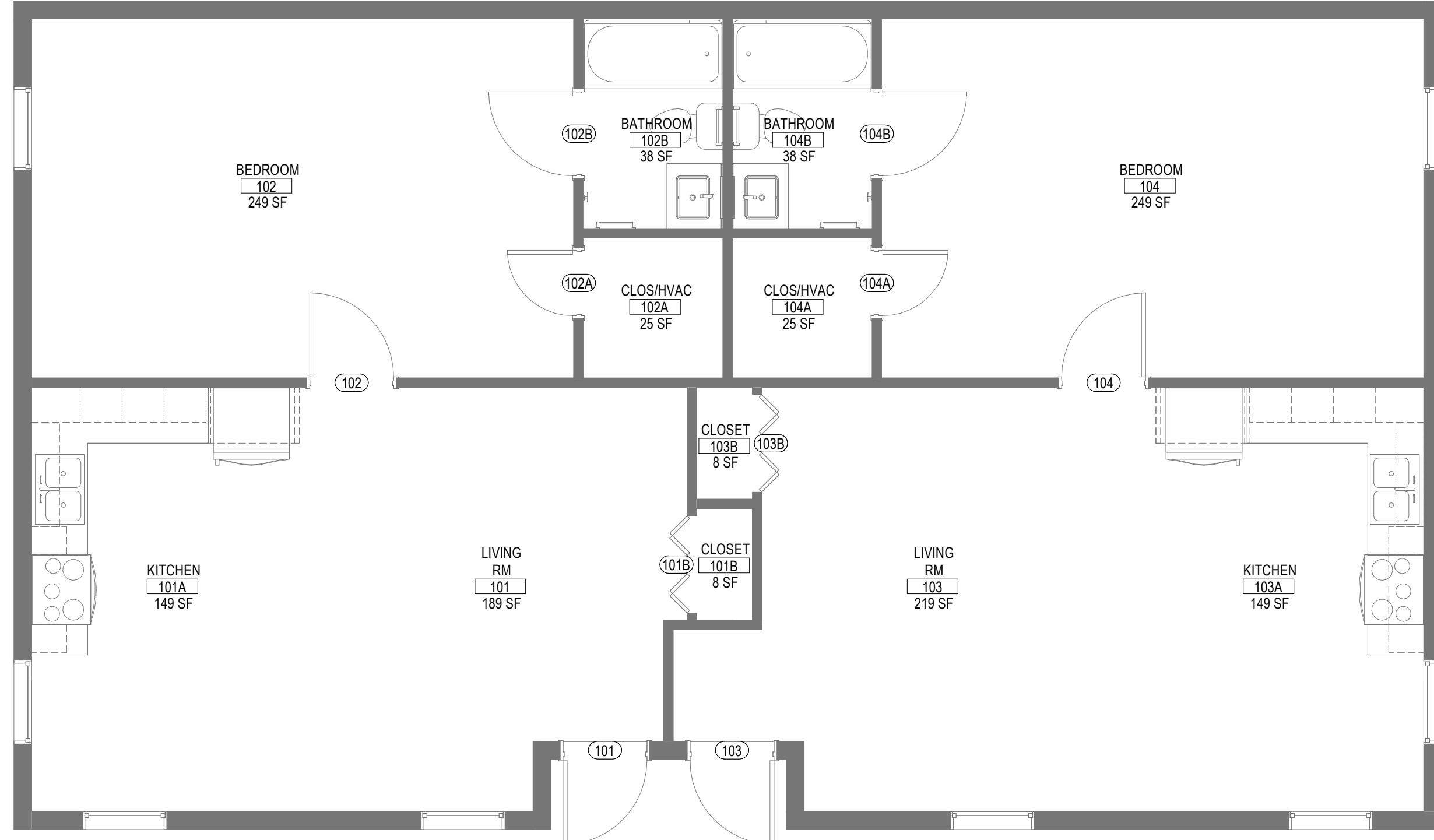
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**1D FLOOR PLAN - APARTMENT N - LEVEL 01**

A111 1/4" = 1'-0"

SHOWN FOR REFERENCE

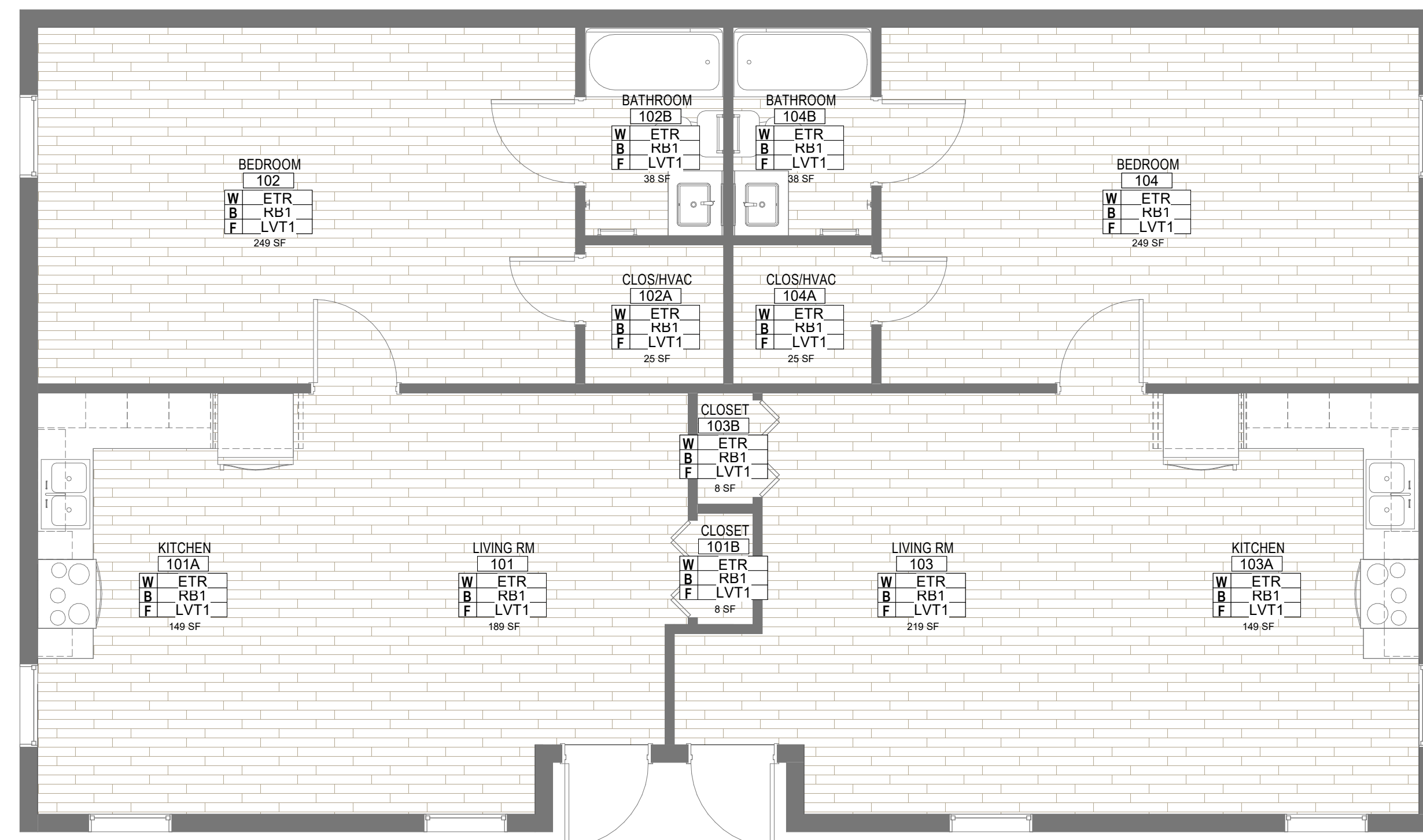


**4D REFLECTED CEILING PLAN - APARTMENT N - LEVEL 01**

A111 1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE			
Type Mark	Manufacturer	Model	Comments
F01	ARTIKA PRO	SKYLIGHT BREEZE INTEGRATED LED BATHROOM FAN	

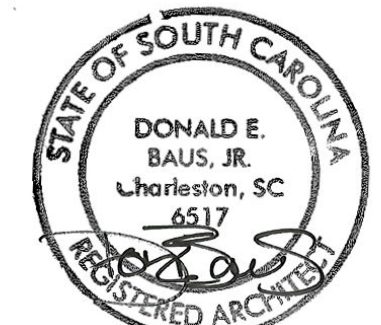
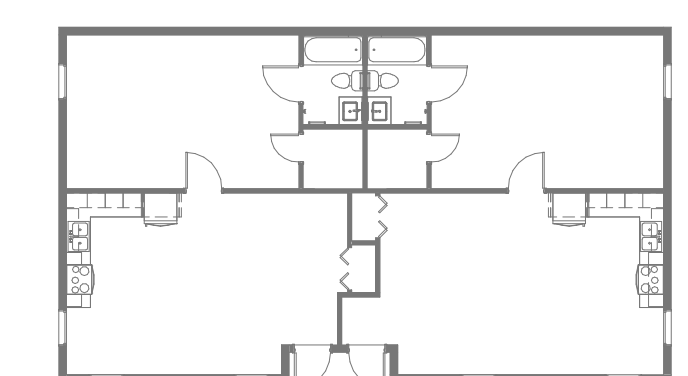
FINISH SCHEDULE								
FINISH TYPE & NUMBER	TYPE DESCRIPTION	MANUFACTURER	PRODUCT	COLOR	FINISH	SIZE	LOCATION	COMMENT
BASE + TRIM								
RB1	RESILIENT BASE	TARKETT			--	4 3/8" H		
FLOOR	LUXURY VINYL TILE	MANNINGTON COMMERCIAL	UPWARD 20	NATURAL OAK UPW20 3021	--	6" X 36"		



**2 FINISH PLAN - TYP. 4 BR - LEVEL 01**

A111 1/4" = 1'-0"

**KEY PLAN**



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DESIGN TEAM  
C TURNER

PROJECT NAME  
FMU - Village Apts - Large 1 BR Units  
4822 E Palmetto St  
Florence, SC 29506  
OSE PROJECT NUMBER - H18-N082-SG

PROJECT NO.  
4142052600

SHEET TITLE  
FLOOR PLAN, CEILING PLAN, & FINISH PLAN - LEVEL 01 - 1 BR LARGE

SHEET NUMBER  
A111

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